

Attachment B

Selected Drawings

SITE AREA

| | |
|---------------------|-------------------------|
| Childcare Centre | 1735m ² |
| Carpark | 310m ² |
| Project Site | 720m² |
| Total Site Area | 2765m ² |

GROSS FLOOR AREA CALCULATIONS
In accordance with City of Sydney LEP 2012

| | Existing | Proposed |
|-----------------------|-------------------------|-------------------------|
| COMMUNITY HALL | | |
| Ground Floor | 269m ² | 265m ² |
| CO-LIVING | | |
| First Floor | 252m ² | 252m ² |
| Second Floor | - | 173m ² |
| Total | 521m² | 690m² |

COMMON AREA CALCULATIONS
In accordance with Housing SEPP 2021 (30m² min)

| | Proposed |
|------------------|------------------------|
| CO-LIVING | |
| First Floor | 15m ² |
| Second Floor | 42m ² |
| Total | 57m² |

LANDSCAPING

| | Proposed | Complies |
|--|-------------------------|------------------------|
| Private Outdoor Space (POS) > 20% of Site (720m ²) as required by SEPP (Housing) 2021 | | |
| Ground Floor | 90m ² | |
| Roof Terrace | 26m ² | |
| Shared Outdoor | 94m ² | |
| Total | 202m² | YES[^] |

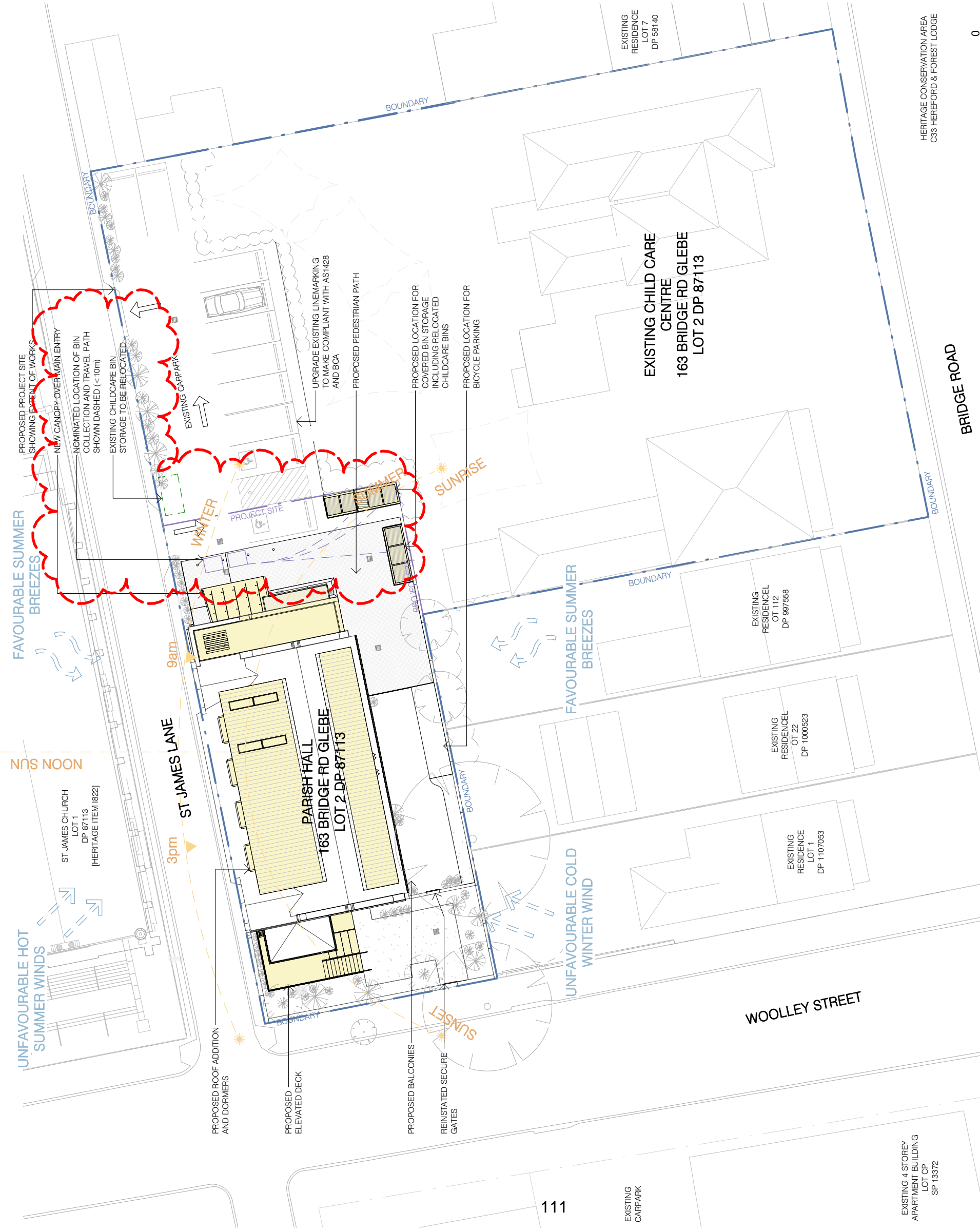
[^] SEPP (Housing) 2021 requires min 20% of total site area, however due to site use which includes a separate childcare centre and shared carpark, for the purposes of this development the site area has been assumed as curtilage to building as shown on site plan as "Project Site".

Deep Soil Zones 195m² YES
In accordance with the urban canopy controls of the Sydney DCP, minimum requirement of 5% site area or 195m² with min. dimension of 2m.

Development Application

Date: 6/10/2022 10:14:07 AM
Scale: 1:200 @A3

Site Plan & Site Analysis
Project Number: 1504.03
Drawing Number: DA-100
Revision (A3)



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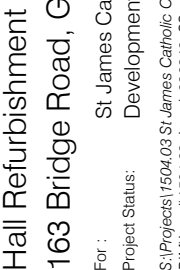
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Nominated Architect: Jesse Mowbray
(NSWARB 8618; ARBV 20252)
ABN 71 609 346 965
Email admin@nimbusarch.com
Phone + 61 2 9991 3564

| Rev | Revision Description | Date | Drawn | Reviewed |
|-----|------------------------------|----------|-------|----------|
| A | Development Application | 30.03.22 | SV | JM |
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Hall Refurbishment & New Co-Living Housing
163 Bridge Road, Glebe NSW 2037

For: St James Catholic Parish
Project Status: Development Application

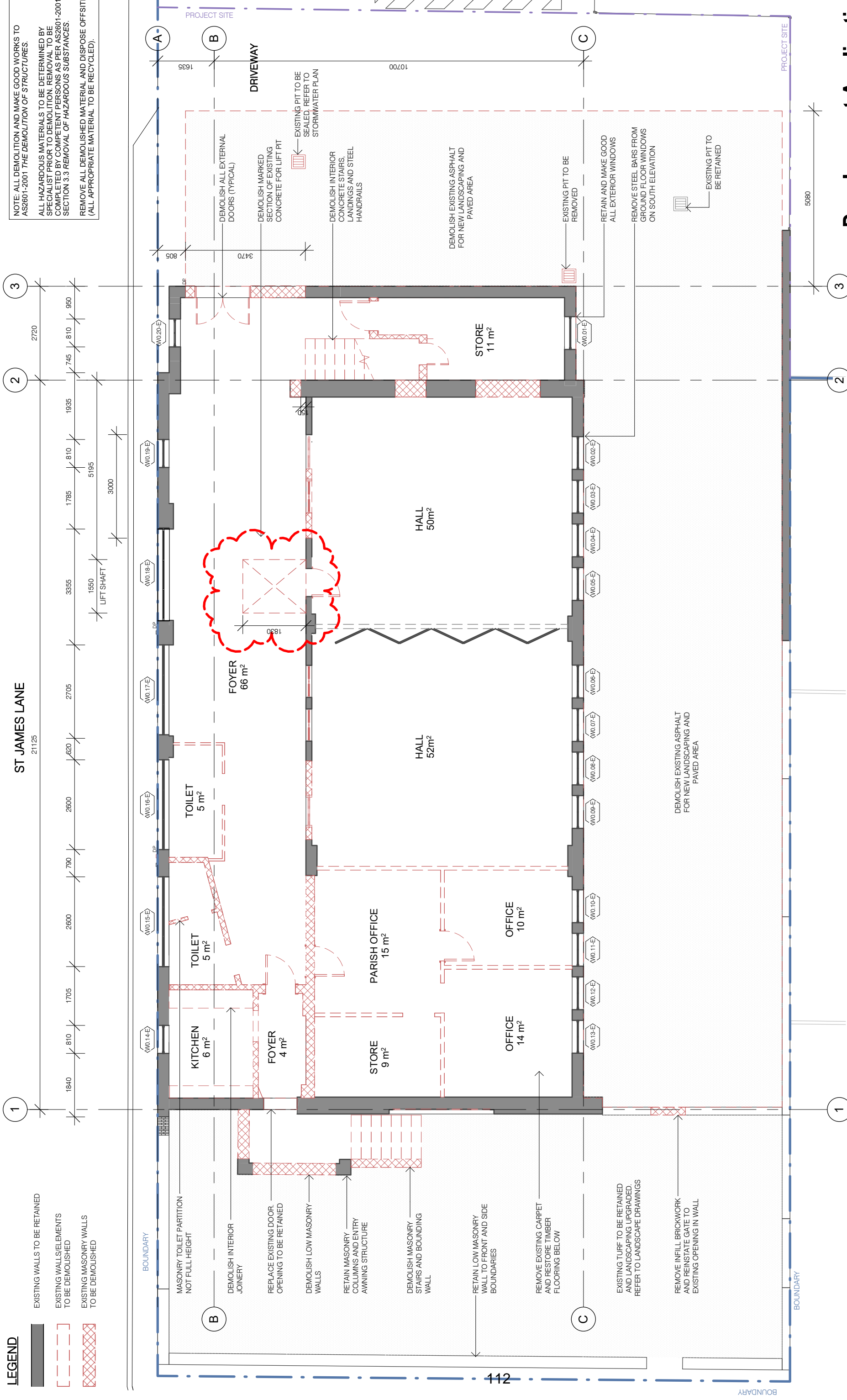
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LEGEND

- EXISTING WALLS TO BE RETAINED
- EXISTING WALLS/ELEMENTS TO BE DEMOLISHED
- EXISTING MASONRY WALLS TO BE DEMOLISHED

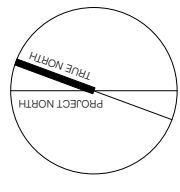
ST JAMES LANE
21125



NOTE: ALL DEMOLITION AND MAKE GOOD WORKS TO AS2601-2001 THE DEMOLITION OF STRUCTURES.
ALL HAZARDOUS MATERIALS TO BE DETERMINED BY SPECIALIST PRIOR TO DEMOLITION. REMOVAL TO BE COMPLETED BY COMPETENT PERSONS AS PER AS2601-2001, SECTION 3.3 REMOVAL OF HAZARDOUS SUBSTANCES.
REMOVE ALL DEMOLISHED MATERIAL AND DISPOSE OFFSITE (ALL APPROPRIATE MATERIAL TO BE RECYCLED).

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Nominated Architect: Jesse Mowbray
(NSWAB 8618; ARBV 20252)
ABN 71 609 346 965
Email admin@nimbusarch.com
Phone + 61 2 9891 3564


Demolition Ground Floor Plan
Project Number: 1504.03
Drawing Number: DA-101
Revision (A3)
E

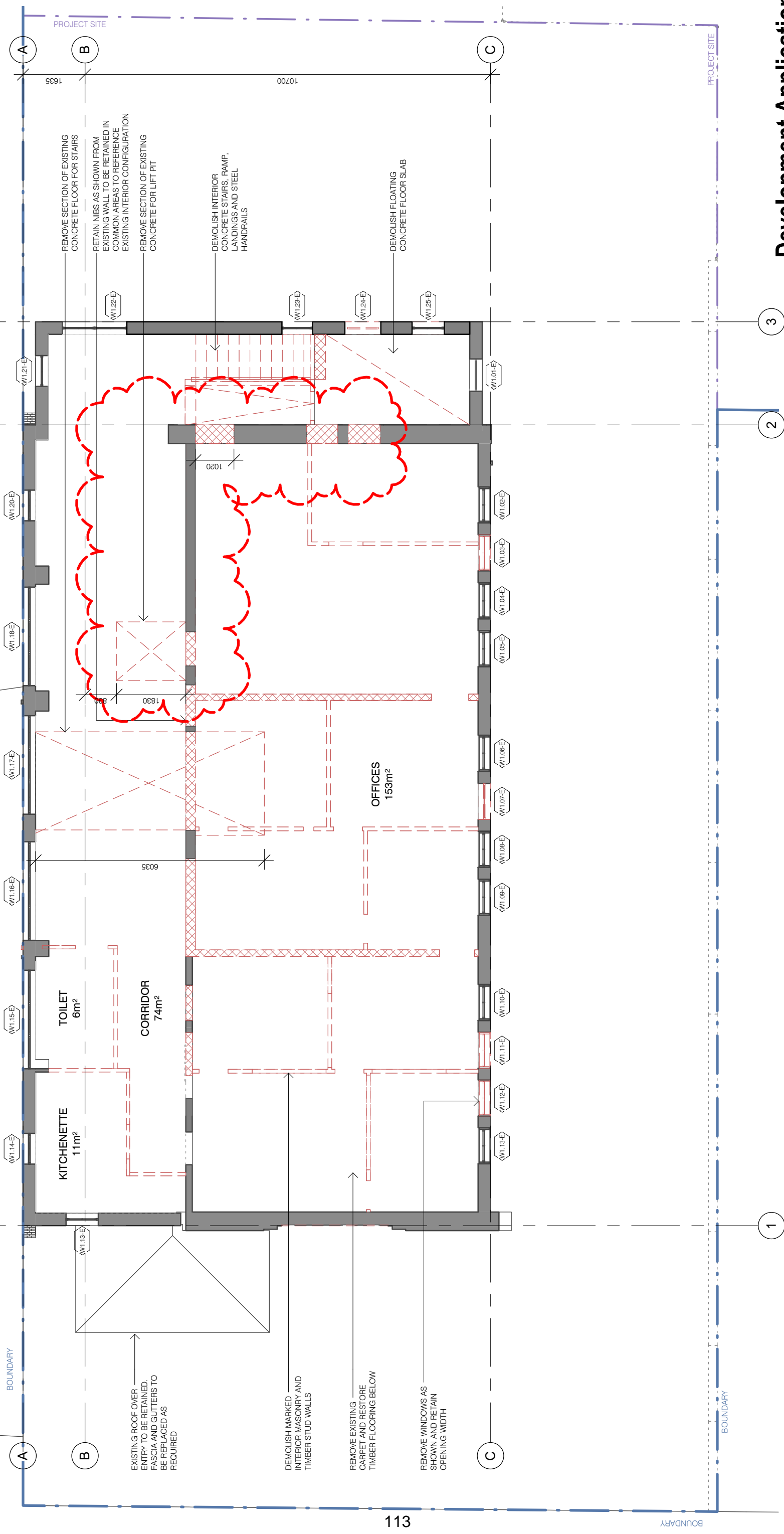
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LEGEND

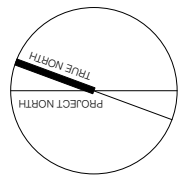
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 Nominated Architect: Jesse Mowbray
 (NSWARS 8618; ARBV 20252)
 ABN 71 609 346 965
 Email admin@nimbusarch.com
 Phone + 61 2 9891 3564

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Demolition First Floor Plan
 Project Number: 1504.03
 Drawing Number: DA-102
 Revision (A3)
 E

LEGEND

- EXISTING WALLS TO BE RETAINED
- EXISTING WALLS/ELEMENTS TO BE DEMOLISHED
- EXISTING MASONRY WALLS TO BE DEMOLISHED

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EXISTING GABLE ROOF AND STRUCTURE TO BE RETAINED; NEW FRAMING AROUND NEW EXTENSION

DEMOLISH SECTION OF EXISTING ROOF TO ALLOW FOR PROPOSED ROOF EXTENSION

DEMOLISH INTERNAL PARAPET WALL TO ALLOW ACCESS TO LOWER ROOF

BRICKWORK DETAILING ON FACADES TO BE RETAINED AND REPAINTED WHERE REQUIRED (TYPICAL)

EXISTING ROOF RIDGE TO BE RETAINED AND HEIGHT NOT EXCEEDED

DEMOLISH SECTION OF EXISTING ROOF TO ALLOW FOR NEW ROOF POP-OUT

NOTE: ALL DEMOLITION AND MAKE GOOD WORKS TO AS2601-2001 THE DEMOLITION OF STRUCTURES.
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Development Application

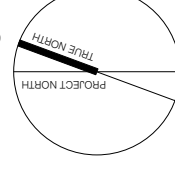
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Nominated Architect: Jesse Mowbray
(NSWARS 8618; ARBV 20252)
ABN 71 609 346 965
Email admin@nimbusarch.com
Phone +61 2 9891 3564

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Hall Refurbishment & New Co-Living Housing
163 Bridge Road, Glebe NSW 2037

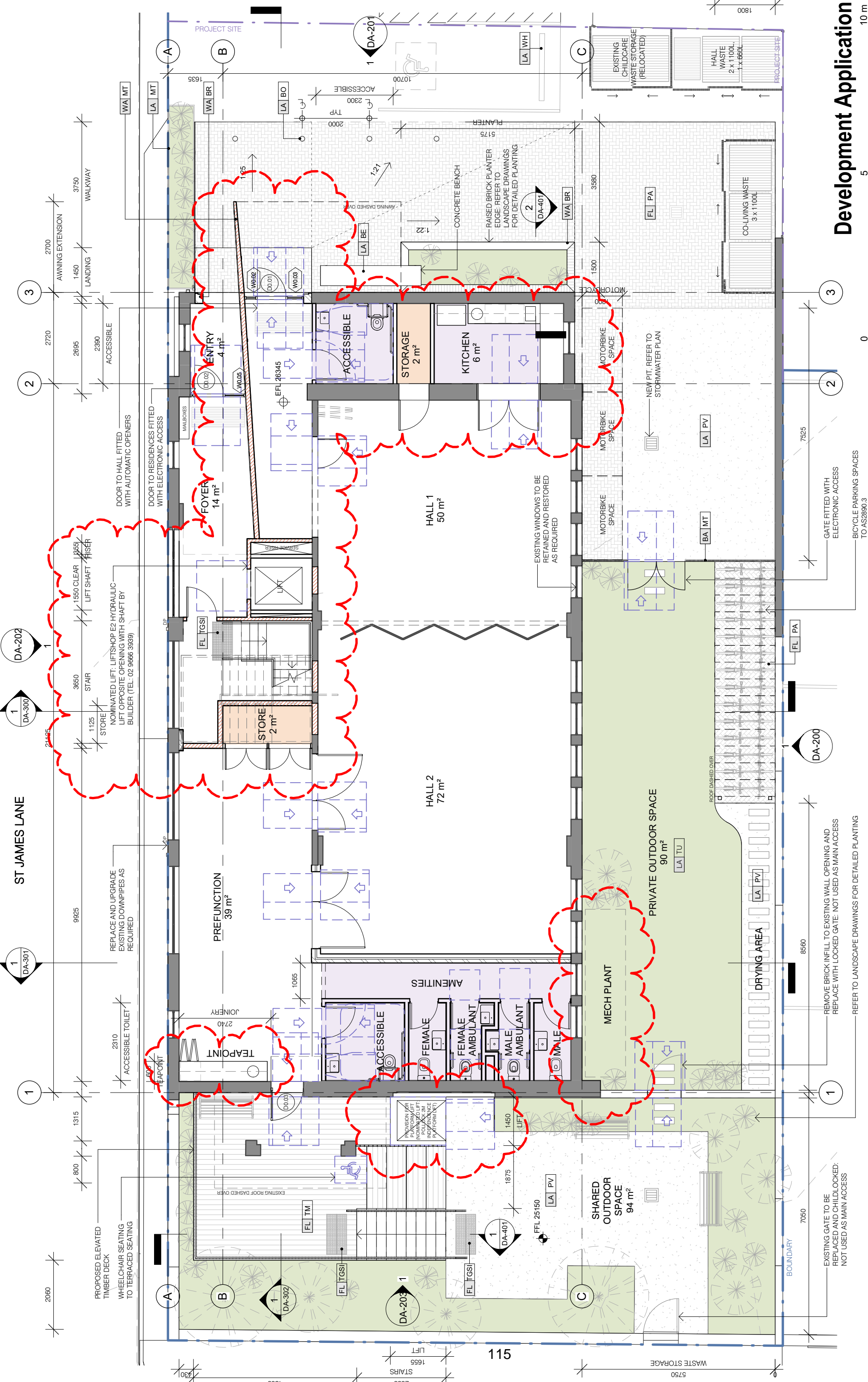
For : St James Catholic Parish
Project Status: Development Application

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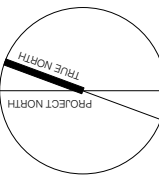
Demolition Roof Plan
Project Number : 1504.03
Drawing Number : DA-103

Revision (A3)
Revision **E**



Development Application

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Proposed Ground Floor Plan
 Project Number: 1504.03
 Drawing Number: DA-110

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Hall Refurbishment & New Co-Living Housing
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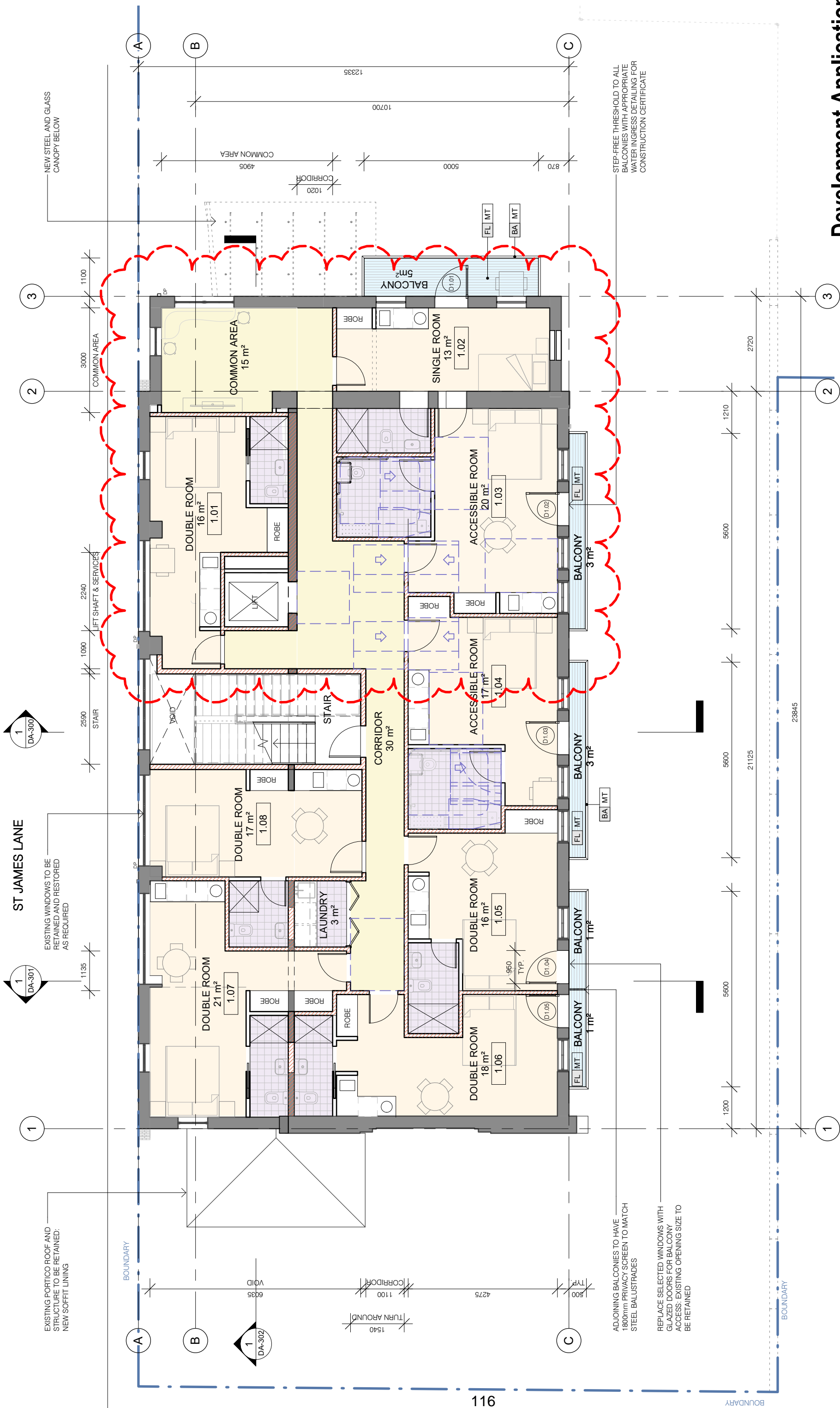
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 Nominated Architect: Jesse Mowbray
 (NSWARS 8618; ARBV 20252)
 ABN 71 609 346 965
 Email admin@nimbusarch.com
 Phone + 61 2 9891 3564

Revision (A3)
 1504.03
 DA-110



NEW STEEL AND GLASS CANOPY BELOW

EXISTING PORTICO ROOF AND STRUCTURE TO BE RETAINED. NEW SOFFIT LINING

EXISTING WINDOWS TO BE RETAINED AND RESTORED AS REQUIRED

ADJOINING BALCONIES TO HAVE 1800mm PRIVACY SCREEN TO MATCH STEEL BALUSTRADES

REPLACE SELECTED WINDOWS WITH GLAZED DOORS FOR BALCONY ACCESS. EXISTING OPENING SIZE TO BE RETAINED

STEP-FREE THRESHOLD TO ALL BALCONIES WITH APPROPRIATE WATER INGRESS DETAILING FOR CONSTRUCTION CERTIFICATE

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LIFT SHAFT & SERVICES

VOID

CORRIDOR

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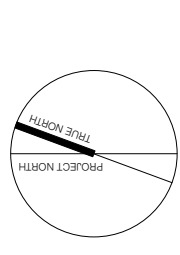
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Development Application

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Project Number: 1504.03
 Drawing Number: DA-111
 Revision (A3)



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 ABN 71 609 346 965
 Email admin@nimbusarch.com
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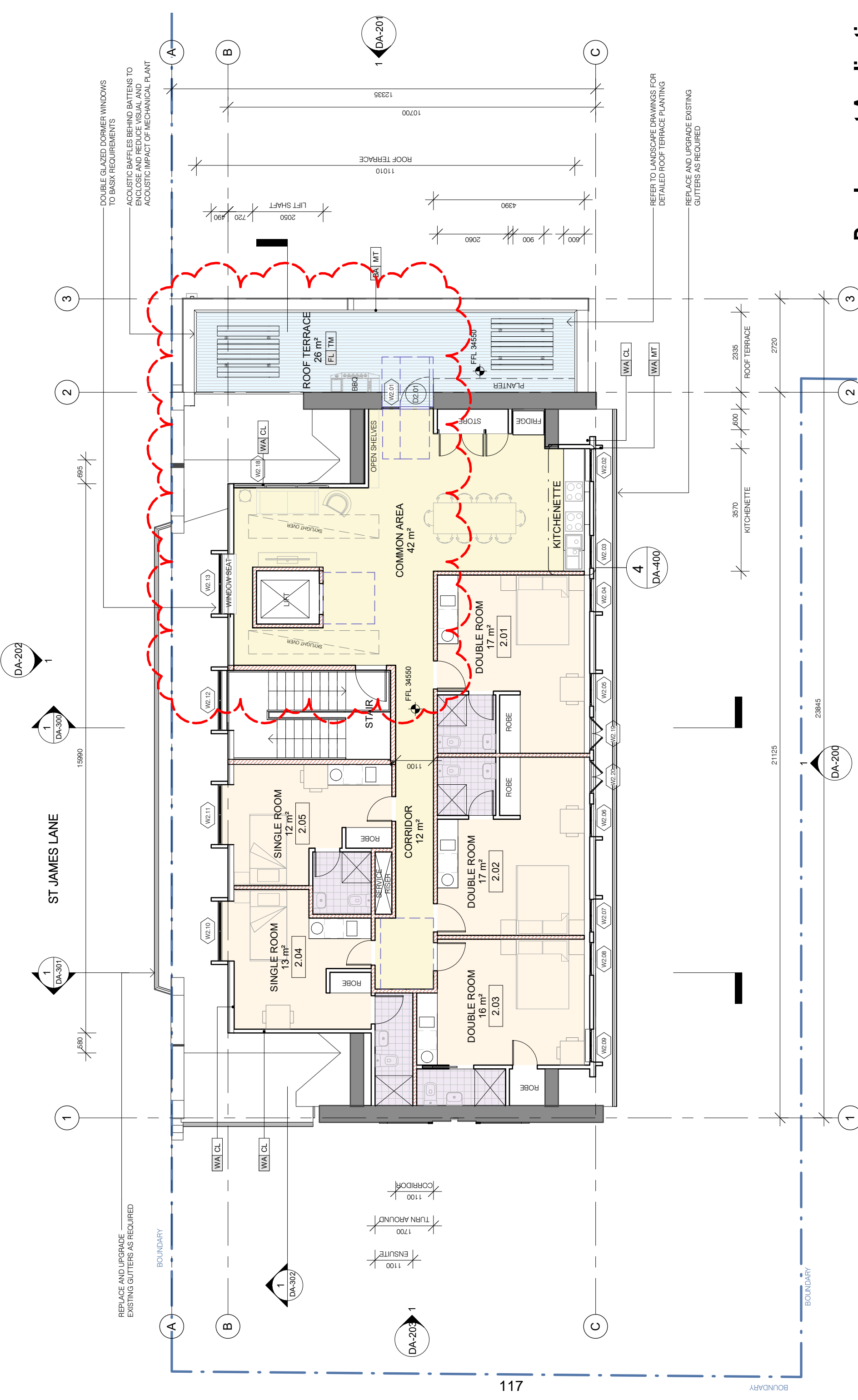
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Hall Refurbishment & New Co-Living Housing
 163 Bridge Road, Glebe NSW 2037

For: St James Catholic Parish
 Project Status: Development Application

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DOUBLE GLAZED DORMER WINDOWS TO BASIC REQUIREMENTS

ACOUSTIC Baffles BEHIND BATTENS TO ENCLOSE AND REDUCE VISUAL AND ACOUSTIC IMPACT OF MECHANICAL PLANT

REFER TO LANDSCAPE DRAWINGS FOR DETAILED ROOF TERRACE PLANTING

REPLACE AND UPGRADE EXISTING GUTTERS AS REQUIRED

REPLACE AND UPGRADE EXISTING GUTTERS AS REQUIRED

Development Application

Date: 6/10/2022 10:14:41 AM

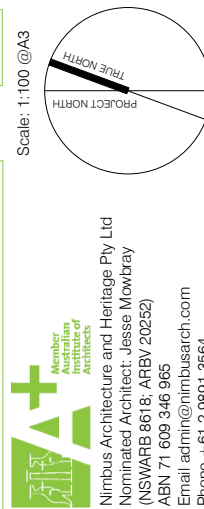
Scale: 1:100 @A3

Project Number: 1504.03

Drawing Number: DA-112

Proposed Second Floor Plan

Revision (A3)



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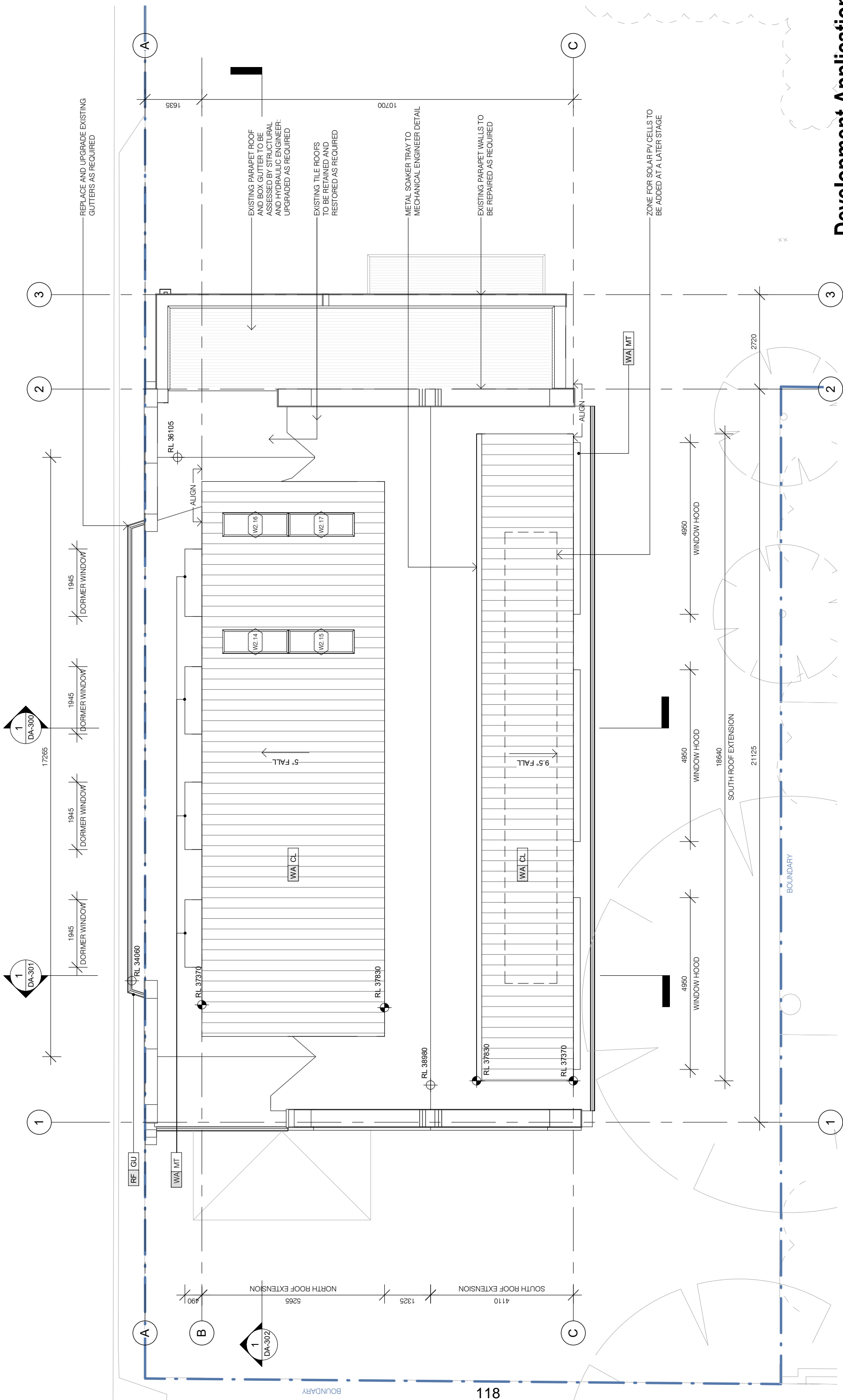
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ABN 71 609 346 965
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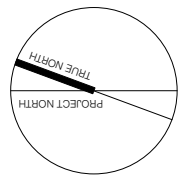
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Development Application

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Project Number: 1504.03
 Drawing Number: DA-120
 Revision (A3)



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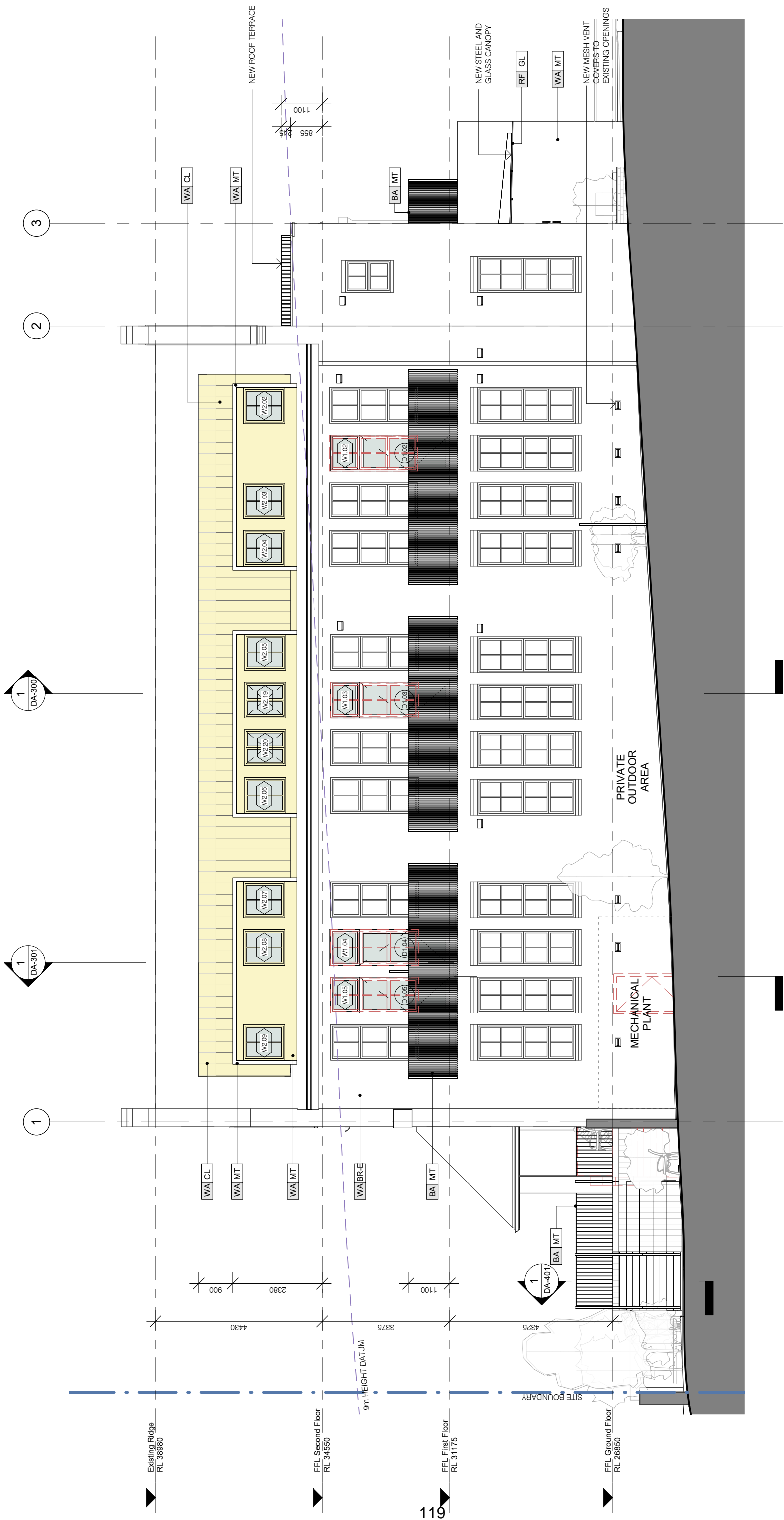
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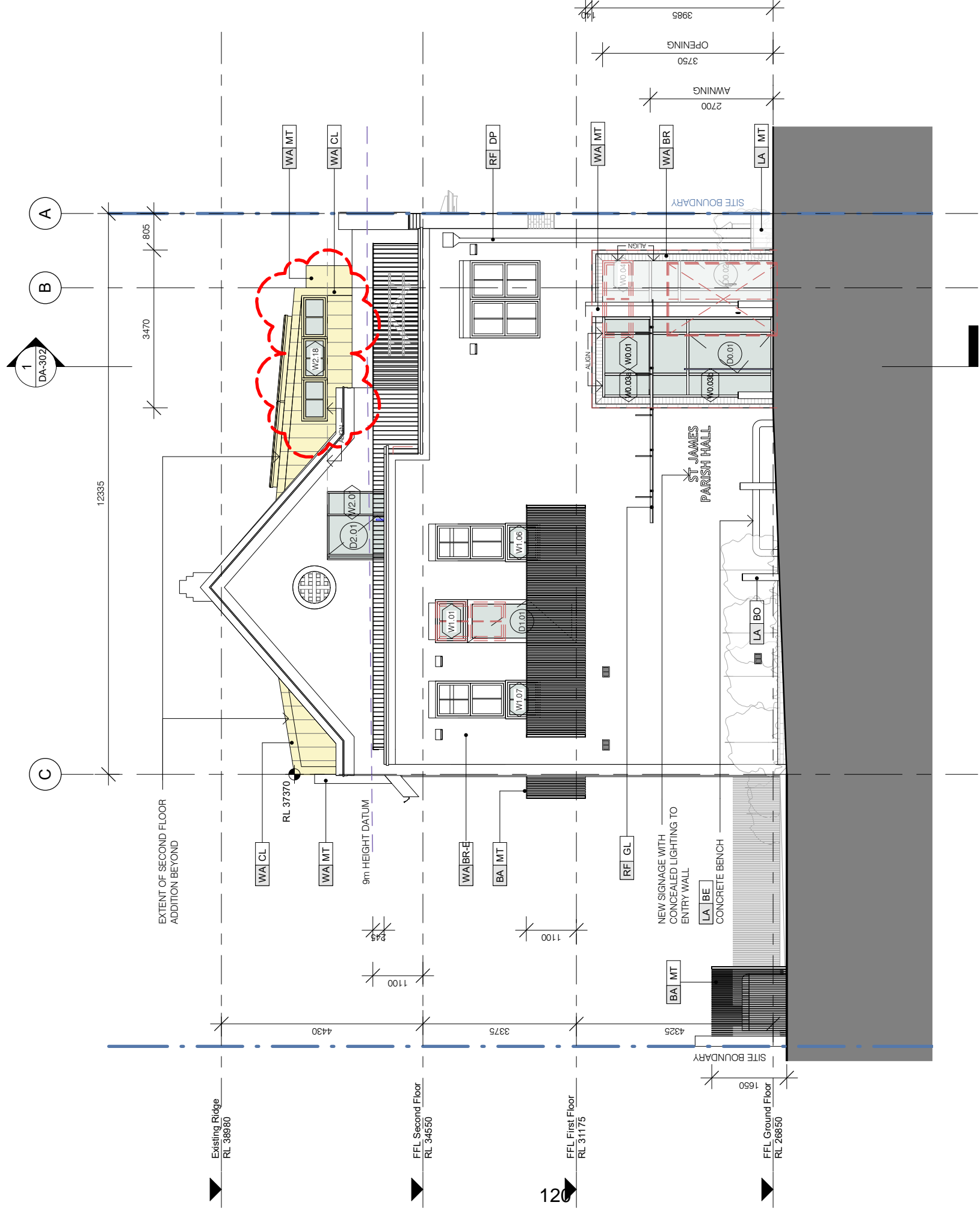
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Proposed South Elevation
 Project Number : 1504.03
 Drawing Number : DA-200

Revision (A3)
 E



Window Schedule

| Mark | Type | Width | Height | Frame | Comments |
|--------|---------------------|-------|--------|-----------|---|
| W0.01 | Fixed - Glazed Wall | 900 | 1050 | Aluminium | Transom window to D0.01 |
| W0.02a | Fixed - Glazed Wall | 210 | 2700 | Aluminium | Glazed wall adjacent to D0.01 |
| W0.02b | Fixed - Glazed Wall | 210 | 1050 | Aluminium | Glazed wall adjacent to D0.01 |
| W0.03a | Fixed - Glazed Wall | 505 | 1050 | Aluminium | Glazed wall adjacent to D0.01 |
| W0.03b | Fixed - Glazed Wall | 505 | 2700 | Aluminium | Glazed wall adjacent to D0.01 |
| W0.04 | Fixed - Glazed Wall | 900 | 1425 | Aluminium | Transom window to D0.02 |
| W0.05a | Fixed - Glazed Wall | 925 | 1425 | Aluminium | Glazed wall adjacent to D0.02 |
| W0.05b | Fixed - Glazed Wall | 925 | 2700 | Aluminium | Glazed wall adjacent to D0.02 |
| W1.01 | Fixed - 2 lite | 500 | 2100 | Timber | Transom window to D1.01 |
| W1.02 | Fixed - 2 lite | 950 | 760 | Timber | Transom window to D1.02 |
| W1.03 | Fixed - 2 lite | 950 | 760 | Timber | Transom window to D1.03 |
| W1.04 | Fixed - 2 lite | 950 | 760 | Timber | Transom window to D1.04 |
| W1.05 | Fixed - 2 lite | 950 | 760 | Timber | Transom window to D1.05 |
| W1.06 | Fixed - 2 lite | 850 | 735 | Timber | To match existing window above |
| W1.07 | Fixed - 2 lite | 850 | 735 | Timber | To match existing window above |
| W2.01 | Fixed | 500 | 2100 | Timber | Sidelight window to D2.01 |
| W2.02 | Sliding - 2 lite | 950 | 1100 | Aluminium | Aligned to existing windows below |
| W2.03 | Sliding - 2 lite | 950 | 1100 | Aluminium | Aligned to existing windows below |
| W2.04 | Sliding - 2 lite | 950 | 1100 | Aluminium | Aligned to existing windows below |
| W2.05 | Sliding - 2 lite | 950 | 1100 | Aluminium | Aligned to existing windows below |
| W2.06 | Sliding - 2 lite | 950 | 1100 | Aluminium | Aligned to existing windows below |
| W2.07 | Sliding - 2 lite | 950 | 1100 | Aluminium | Aligned to existing windows below |
| W2.08 | Sliding - 2 lite | 950 | 1100 | Aluminium | Aligned to existing windows below |
| W2.09 | Sliding - 2 lite | 950 | 1100 | Aluminium | Aligned to existing windows below |
| W2.10 | Fixed - 12 lite | 1750 | 2420 | Aluminium | Double glazed dormer window |
| W2.11 | Fixed - 12 lite | 1750 | 2420 | Aluminium | Double glazed dormer window |
| W2.12 | Fixed - 12 lite | 1750 | 2420 | Aluminium | Double glazed dormer window |
| W2.13 | Fixed - 12 lite | 1750 | 2420 | Aluminium | Double glazed dormer window |
| W2.14 | Fixed - Skylight | 572 | 1791 | Aluminium | Velux FCM Double Glazed Flat Roof Skylight, Model: 2270 |
| W2.15 | Fixed - Skylight | 572 | 1791 | Aluminium | Velux FCM Double Glazed Flat Roof Skylight, Model: 2270 |
| W2.16 | Fixed - Skylight | 572 | 1791 | Aluminium | Velux FCM Double Glazed Flat Roof Skylight, Model: 2270 |
| W2.17 | Fixed - Skylight | 572 | 1791 | Aluminium | Velux FCM Double Glazed Flat Roof Skylight, Model: 2270 |
| W2.18 | Fixed - 6 lite | 2650 | 565 | Aluminium | Highlight window |
| W2.19 | Casement - 2 lite | 950 | 1100 | Aluminium | Aligned to existing windows below |
| W2.20 | Casement - 2 lite | 950 | 1100 | Aluminium | Aligned to existing windows below |

Door Schedule

| Mark | Type | Width | Height | Frame | Comments |
|-------|---------------------|-------|--------|-----------|---|
| D0.01 | Swing Glazed Single | 850 | 1800 | Aluminium | Fitted with automatic door opener |
| D0.02 | Swing Glazed Single | 850 | 1988 | Aluminium | Fitted with automatic door opener |
| D0.03 | Swing Glazed Single | 970 | 2400 | Timber | |
| D1.01 | Swing Glazed Single | 950 | 2395 | Timber | Installed in existing window opening with W1.01 |
| D1.02 | Swing Glazed Single | 950 | 2395 | Timber | Installed in existing window opening with W1.02 |
| D1.03 | Swing Glazed Single | 950 | 2395 | Timber | Installed in existing window opening with W1.03 |
| D1.04 | Swing Glazed Single | 950 | 2395 | Timber | Installed in existing window opening with W1.04 |
| D1.05 | Swing Glazed Single | 950 | 2395 | Timber | Installed in existing window opening with W1.05 |
| D2.01 | Swing Glazed Single | 850 | 2030 | Timber | |

Development Application

Scale: 1:100 @A3
 Date: 6/10/2022 10:14:54 AM
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| Rev | Revision Description | Date | Drawn | Reviewed |
|-----|------------------------------|----------|-------|----------|
| A | Development Application | 30.03.22 | SV | JM |
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Hall Refurbishment & New Co-Living Housing
 163 Bridge Road, Glebe NSW 2037
 For: St James Catholic Parish
 Project Status: Development Application
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Proposed East Elevation
 Project Number: 1504.03
 Drawing Number: DA-201
 Revision (A3)
 Date: 6/10/2022 10:14:54 AM



2 View From St James Lane



Development Application

Scale: 1:100 @A3
Date: 6/10/2022 10:15:07 AM



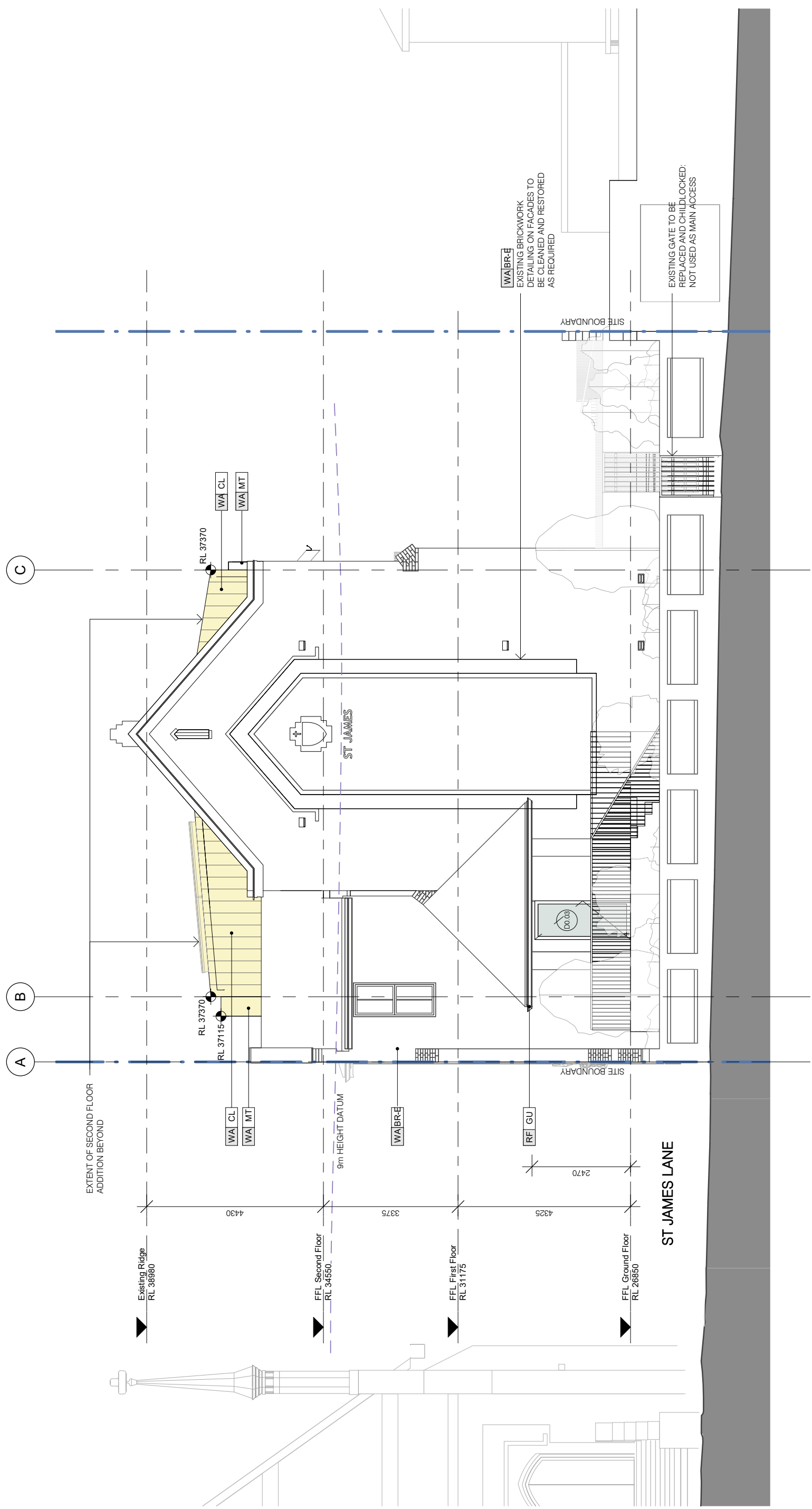
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Hall Refurbishment & New Co-Living Housing
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Proposed North Elevation
Project Number: 1504.03
Drawing Number: DA-202

Revision (A3)
Revision
E



Development Application

Scale: 1:100 @A3
 Date: 6/10/2022 10:15:11 AM

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Member
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 Architects

Nimbus Architecture and Heritage Pty Ltd
 Nominated Architect: Jesse Mowbray
 (NSWARS 8618; ARBV 20252)
 ABN 71 609 346 965
 Email admin@nimbusarch.com
 Phone + 61 2 9891 3564

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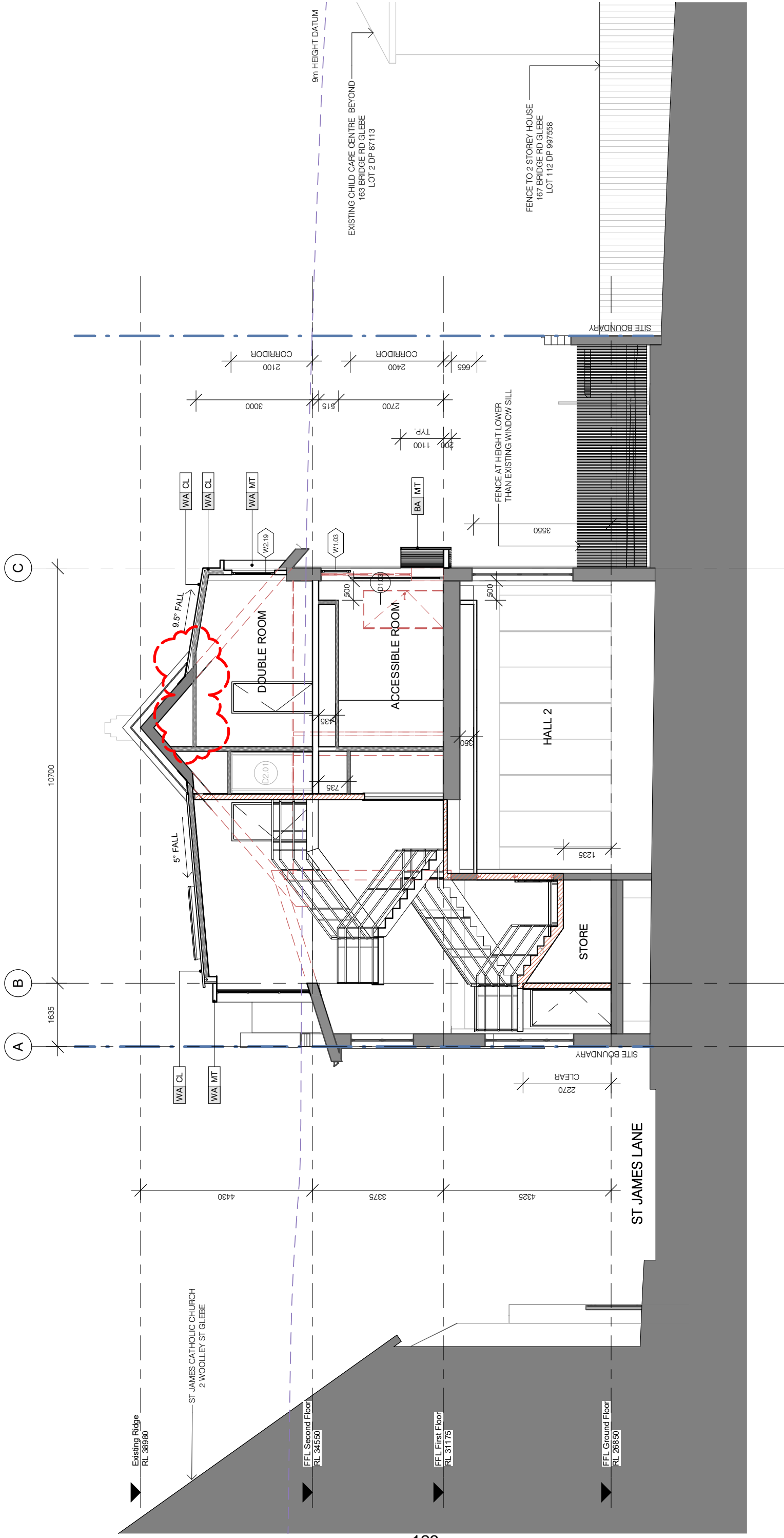
Hall Refurbishment & New Co-Living Housing
 163 Bridge Road, Glebe NSW 2037

For: St James Catholic Parish
 Project Status: Development Application

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Proposed West Elevation
 Project Number: 1504.03
 Drawing Number: DA-203

Revision (A3)
 E



Development Application

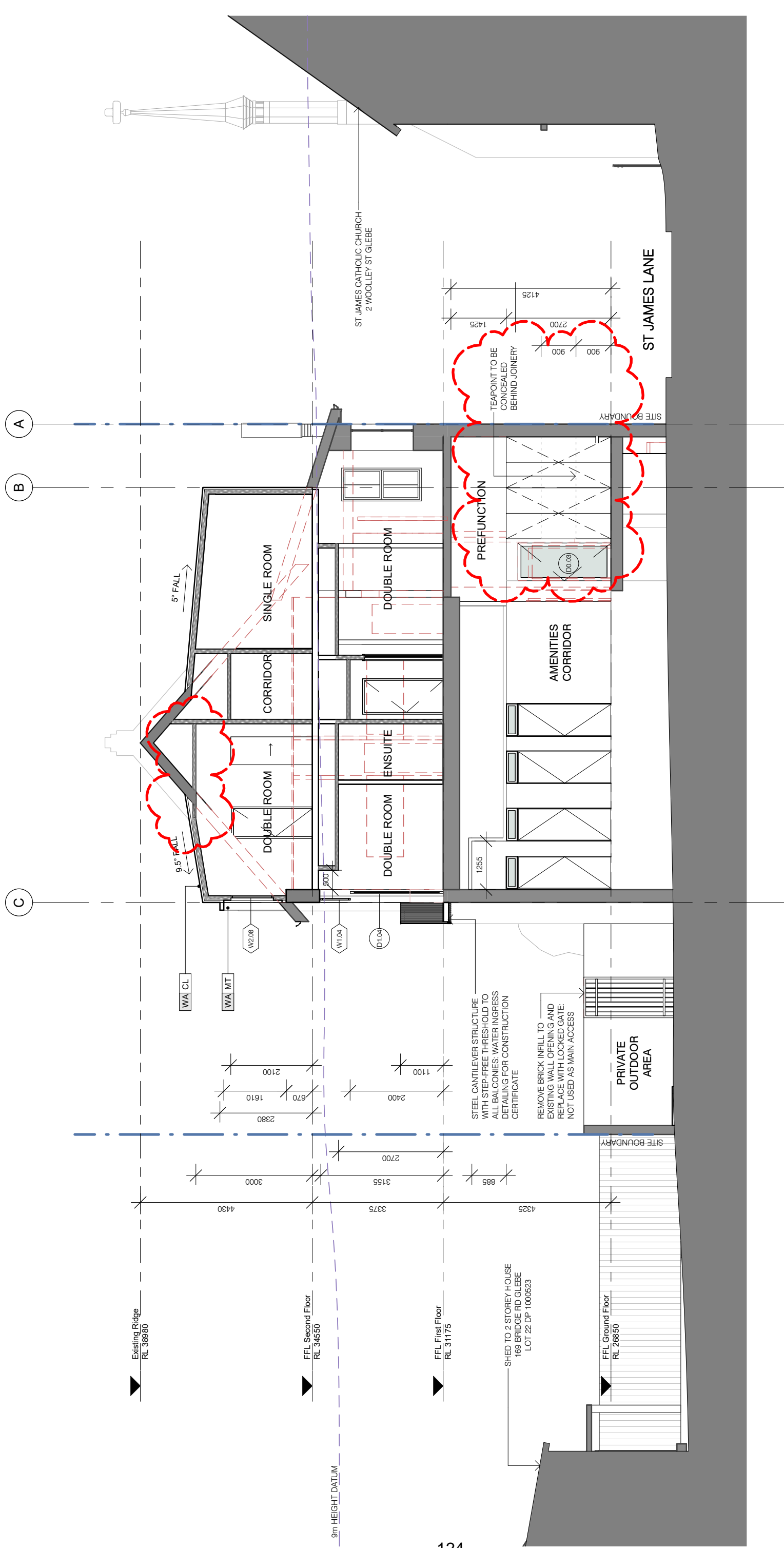
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Nimbus Architecture and Heritage Pty Ltd
 Nominated Architect: Jesse Mowbray
 (NSWARS 8618; ARBV 20252)
 ABN 71 609 346 965
 Email admin@nimbusarch.com
 Phone + 61 2 9891 3564

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Section - Cross Section A
 Project Number : 1504.03
 Drawing Number : DA-300
 Revision (A3)
 E



Development Application

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Nimbus Architecture and Heritage Pty Ltd
Nominated Architect: Jesse Mowbray
(NSWARS 8618; ARBV 20252)
ABN 71 609 346 965
Email admin@nimbusarch.com
Phone + 61 2 9891 3564

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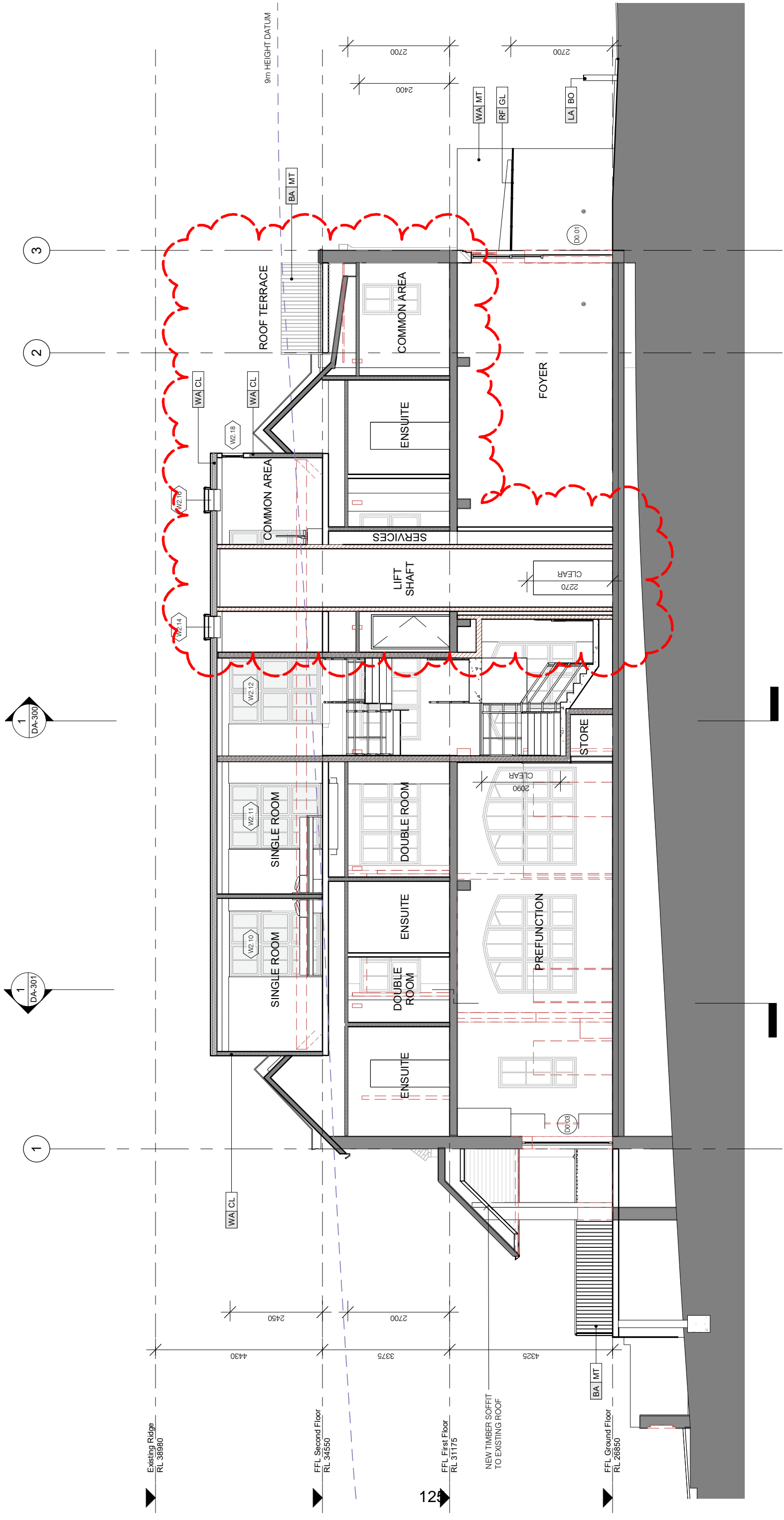
Hall Refurbishment & New Co-Living Housing
163 Bridge Road, Glebe NSW 2037

For: St James Catholic Parish
Project Status: Development Application

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Section - Cross Section B
Project Number: 1504.03
Drawing Number: DA-301

Revision (A3)
Revision **E**



Development Application

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 Scale: 1:100 @A3



| Rev | Revision Description | Date | Drawn | Reviewed |
|-----|------------------------------|----------|-------|----------|
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Section - Long Section C
 Project Number: 1504.03
 Drawing Number: DA-302

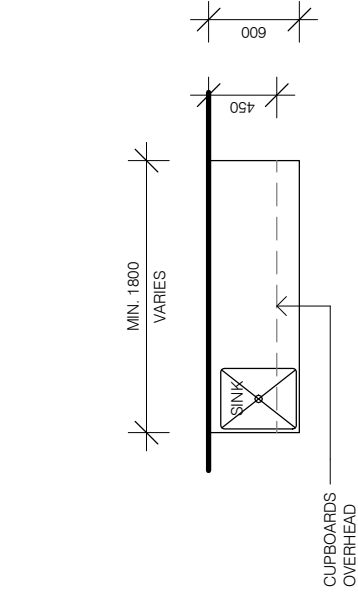
Revision (A3)
 Revision

Development Application

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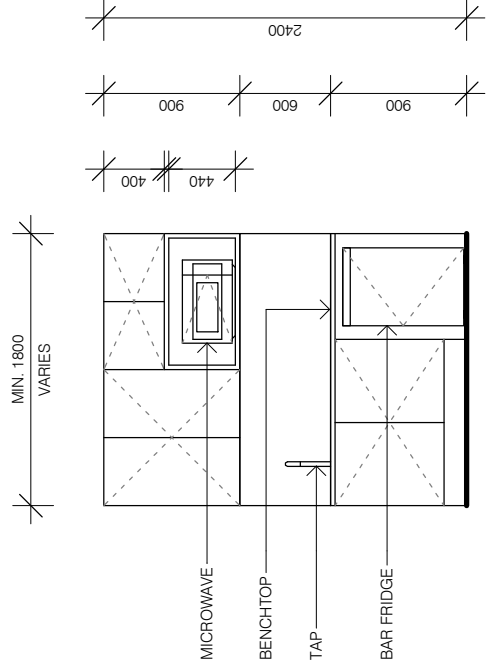
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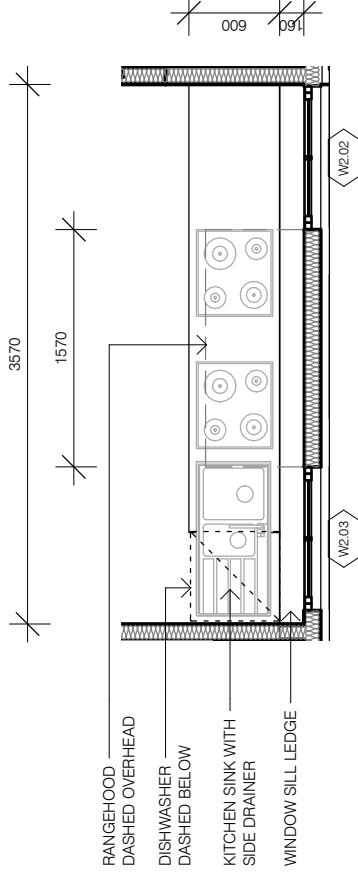
1 Kitchenette Plan - Typical

1 : 50



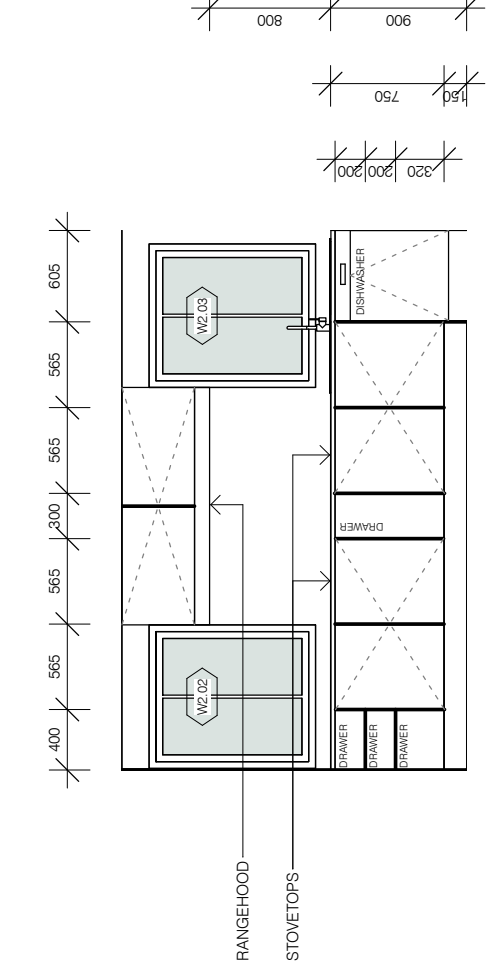
2 Kitchenette Elevation - Typical

1 : 50



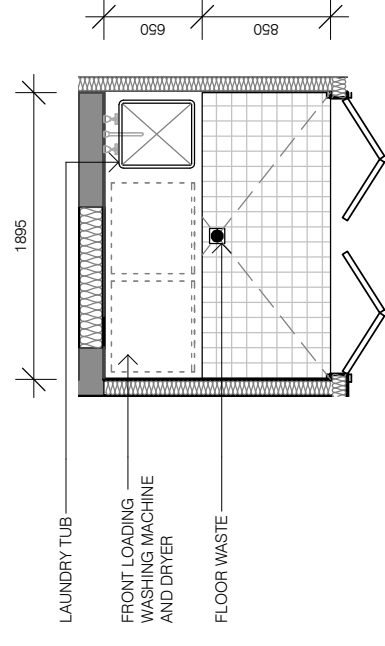
4 Common Kitchen Plan

1 : 50



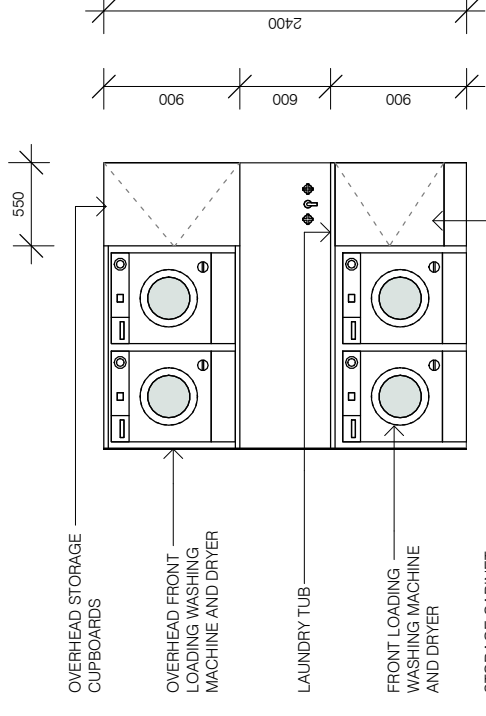
5 Common Kitchen Elevation

1 : 50



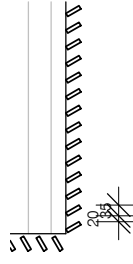
7 Common Laundry Plan

1 : 50



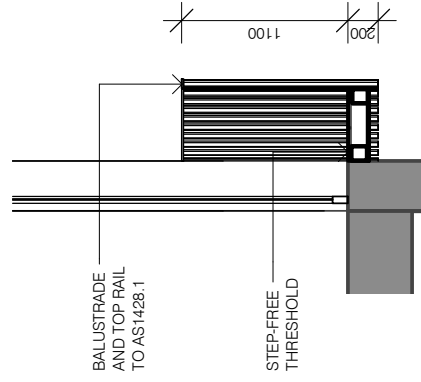
8 Common Laundry Elevation

1 : 50



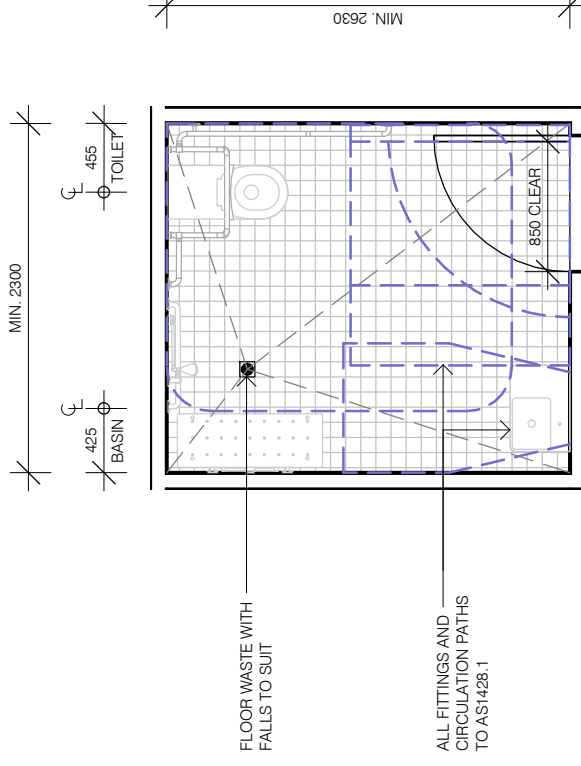
10 Balcony Partial Plan - Typical

1 : 25



3 Balcony Section - Typical

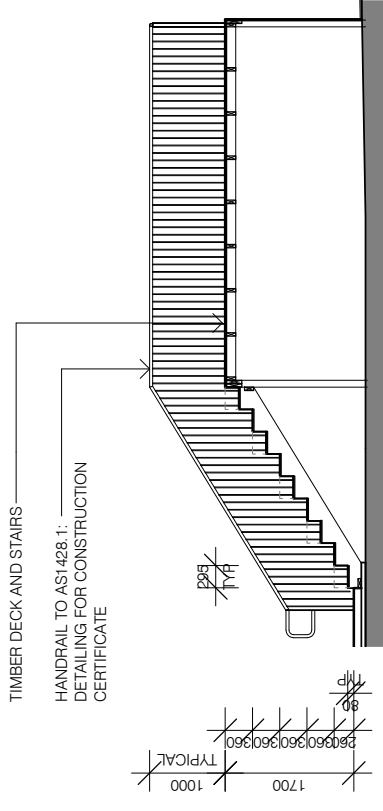
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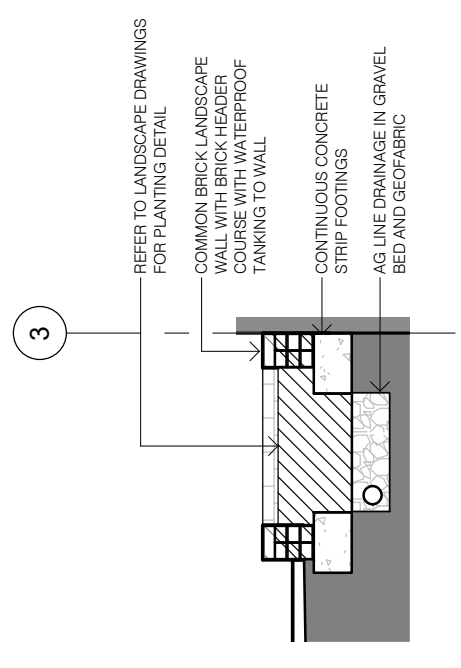
6 Accessible Bathroom - Typical

1 : 50

| Rev | Revision Description | Date | Drawn | Reviewed |
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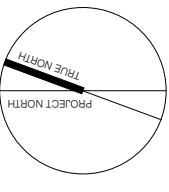
1 Timber Deck and Stairs - Section
1 : 100



2 Brick Planter - Section
1 : 50

Development Application

Date : 6/10/2022 10:15:22 AM
Scale: 1:100 @A3



Details
Project Number : 1504.03
Drawing Number : DA-401
Revision (A3)
Revision **C**

Member Australian Architects
Nimbus Architecture and Heritage Pty Ltd
Nominated Architect: Jesse Mowbray
(NSW) ARB 8618; ARBV 20252
ABN 71 609 346 965
Email admin@nimbusarch.com
Phone + 61 2 9891 3564



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Hall Refurbishment & New Co-Living Housing
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EXISTING BUILDING



WA-BR-E EXISTING MASONRY TO BE RETAINED & RESTORED

ALL NEW WINDOWS AND DOOR ON THE FIRST FLOOR AS WELL AS ANY WINDOWS/DOOR IN EXISTING ORIGINAL WALLS ON SECOND FLOOR TO BE TIMBER FRAMED AND PAINTED TO MATCH EXISTING

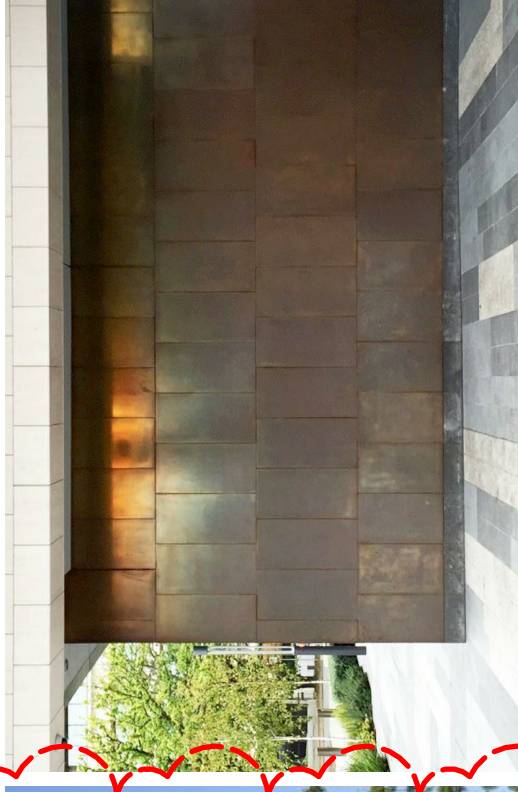
PROPOSED WALLS



WA-BR BOWRAL PARK LANE CHESTERFIELD BRICKS: NEW MASONRY DETAILING



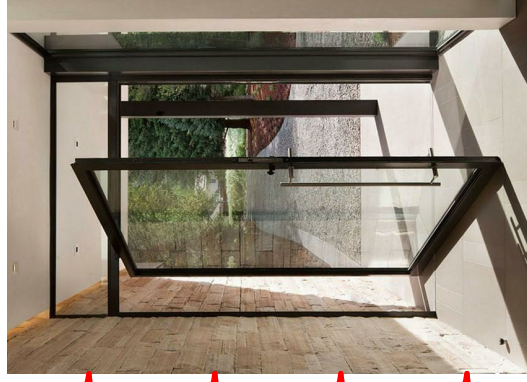
WA-CL LONGLINE CLADDING IN COLORBOND WALLABY



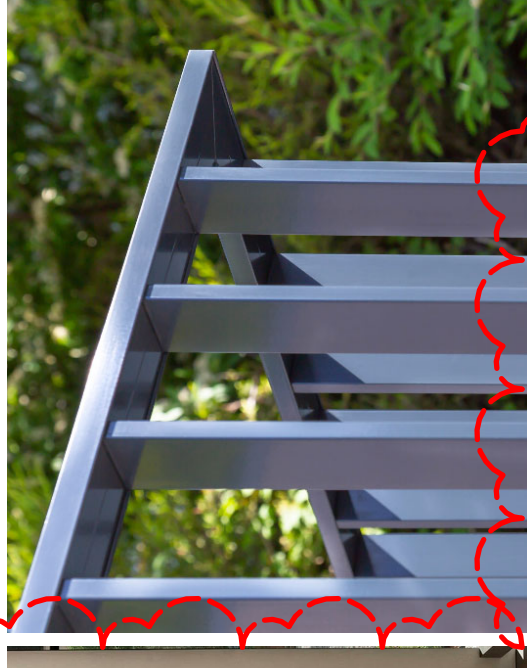
WA-MT

AGED METAL SHEET CLADDING (AXOLOTL-BRASS BROWN FLORENTINE CUTBACK SHEET METAL); PLANTER BOX, ENTRY BLADE WALL & DORMER WINDOWS

ELEMENTS



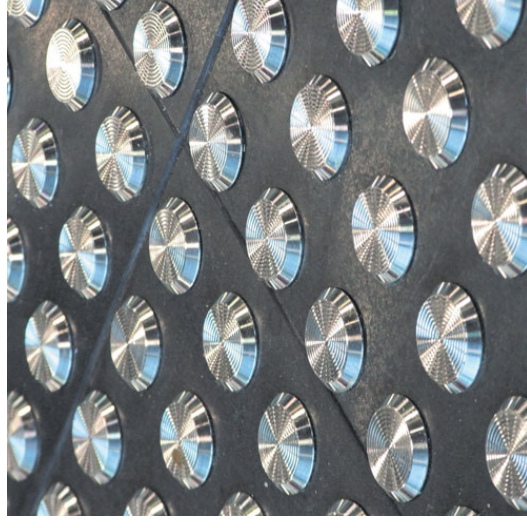
LN-FNT CHARCOAL ALUMINUM FRAMED GLASS DOORS: EXTERNAL AND NEW DORMER WINDOWS ON THE ROOF



LN-FNT VERTICAL FLAT BAR FENCING & BALUSTRADES FINISH: COLORBOND WALLABY



RF-GL FRAMELESS GLAZED AWNING



RF-GL TACTILE GROUND SURFACE INDICATORS: EXTERNAL

Development Application

Hall Refurbishment & New Co-Living Housing
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Nominated Architect: Jesse Mowbray
(NSWARS 8618; ARBV 20252)
ABN 71 609 346 965
Email admin@nimbusarch.com
Phone + 61 2 9891 3564

Date: 6/10/2022 10:15:57 AM

Proposed External Materials
Project Number: 1504.03
Drawing Number: DA-700
Revision (A3)
Revision Number: D

ST. JAMES CHURCH GLEBE - LANDSCAPE DOCUMENTATION

LANDSCAPE DRAWINGS SHEET REGISTER

| L000 | COVER | NTS | 28/7/22 | D |
|-------|-----------------------|-------|---------|---|
| L1001 | PLANTING PLAN | 1:100 | 28/7/22 | D |
| L1002 | PLANTING PALETTE | NTS | 28/7/22 | D |
| L1003 | LEVELS AND FINISHES | 1:100 | 28/7/22 | D |
| L1004 | ELEVATIONS | 1:50 | 28/7/22 | D |
| L1005 | DEEP SOIL/TREE CANOPY | 1:50 | 28/7/22 | A |

KEY PLAN



IRRIGATION (PERFORMANCE SPECIFICATION)

1.1 General

- The Scope of the irrigation supply and installation is:
 - The entire garden area of the site
- The irrigation system should be designed, supplied and installed by an experienced specialist irrigation sub-Landscape Contractor, nominated by the Landscape Contractor and approved by the Principal's Authorised Person. After selection they will be required to prepare detailed irrigation plans and specifications for approval by the Principal's Authorised Person prior to commencing work. The Landscape Contractor will co-ordinate the irrigation installation to the Principal's Authorised Person approval. Ensure completion of the irrigation system before the commencement of any other landscape works, so as to provide a readily available supply of water to planting areas.

A plan must be prepared within 21 days of the contract been let to show the comprehensive irrigation system as specified, including detailed locations of all conduits as required under paved surfaces throughout the site. The information must be suitable to permit the location and installation of such conduits during hardworks preparation.

The Landscape Contractor is to liaise with Contractor as required and to coordinate locations for conduit work to be provided by an experienced, reputable and approved irrigation Landscape Contractor. The irrigation Landscape Contractor shall be responsible for determining water pressure, flow rate and locations of water connection and electrical supply.

- Conduits
 - All irrigation conduits are the responsibility of the Builder, Landscape Contractor to prepare D/C irrigation design drawings indicating locations of irrigation conduits. Drawings to be submitted to Principal's Authorised Person for approval prior to installation. Once approved, the drawings to be issued to Builder for coordination and construction. Conduits are to be placed in the locations as required in accordance with future installation of irrigation control lines to the irrigation designer's details. Ensure that these conduits are supplied with a draw cord and remain clearly marked throughout construction.
 - Approvals
 - Obtain all necessary approvals from relevant authorities. The Landscape Contractor is also responsible for providing the required approvals.
 - Standardisation
 - All workmanship and materials must conform to the relevant Australian Standards and all Sydney Water requirements.
 - Co-ordination of services
 - The Landscape Contractor shall be responsible for the co-ordination of the irrigation systems with other services throughout the site. The central electrical control box and timer shall be positioned in locations to be approved by Principal's Authorised Person.
 - Execution
 - Irrigation design
 - Provide the following documents for approval within 3 weeks of approval of the proposed Landscape Subcontractor:
 - Overall Landscape Watering System.
 - Design plan at 1:200 scale indicating the overall layout of the proposed irrigation installation to the entire site, including the location of the central electrical control box and the location of the water supply and electricity supply. Ensure that all areas are fitted with an automated time controlled irrigation system. Liaise with Landscape Architect and Architect to determine location of control box and water outlet.
 - All relevant information including the following details:
 - Product data
 - Performance data
 - System description
 - Water demands
 - The irrigation system shall be approved by the Principal's Authorised Person prior to installation. The irrigation system shall be supplied and installed in accordance with the manufacturer's recommendations. However the following general principles apply:
 - Water supply connections
 - Connections to water supply points to be made in copper and piping is to remain in copper until isolation valves.

- Isolation and master valve
 - An isolation valve of approved type (Brass gate or ball) is to be installed in an approved thermoplastic valve box. A master solenoid valve shall be installed downstream in the same box.
 - Backflow protection will be obtained by the installation of a brass swing check valve downstream of the master valve and shall be in a separate thermoplastic valve box.
- Controller
 - The controller shall have a minimum of 2 programs (winter and summer) and shall be of approved type, Richard, Intron, Rambrod, Hardie or Toro. There will be sufficient stations to run lawn and garden areas independently. A 240 volt general purpose outlet will be provided at designated locations.
- Piping
 - All piping sizes are to be established from allowable water velocities of no greater than 2m/s and the minimum pressure losses required to operate the sprays or drippers according to manufacturer's specifications. PVC piping to be CL 12 and to be set at minimum depth of 500mm below finished grade.
 - Wiring to be in conduit when above ground or any areas where there is no associated piping. In all other instances it is to be fastened to irrigation pipes. Wire to be stranded multi core and all splices are to be watertight.
 - Valves
 - Valves to be of solenoid type (Rambrod, Richard, Toro or Hardie) located in approved dark green or black coloured thermoplastic valve boxes set at grade in garden beds only.
 - Drip system
 - Any drip system to have adequate filtration and pressure regulation provided in line, in accordance with the manufacturer's specifications. Filter and pressure regulator shall be located together in separate valve box downstream from and adjacent to solenoid valve operating drip system. Dripper placement and numbers to provide adequate application rate for plant requirements as related to size and type. Low density polyethylene tubing on in-line tubing to be set 50mm below top of soil level. If drippers on micro-tube are to be used the dripper is to be located between mulch and soil level and is to be held in position with 150mm wire stakes. Drippers shall be drip-trig or turbulent flow (tabyrmitt) type.
 - Protections
 - Provide covers at completion of irrigation work, properly packaged and labelled, and delivered to the Principal's Authorised Person or as directed. Allow 5% of risers/heads for spares.
 - Guarantees and warranties
 - Relating to the installation and products are to be handed to the Principal's Authorised Person on completion of the works.
 - Works as executed drawing
 - Provide complete dimension drawings, based on the approved design plan, of the entire irrigation system as executed, clearly indicating the type and location of all sprinkler lines, heads, etc. Obtain approval and revise as required. Hand the WAE Drawings to the Principal's Authorised Person upon completion of the works.
 - Completion
 - Completion and maintenance
 - Upon completion Landscape Contractor is to run through system to ensure system is operating correctly and to provide a certificate of completion. The certificate to include details of the system and the location of all valves, instructions and programs are to be typed. Manuals, warranties, and a minimum of two programs, summer and winter, to be provided to the Landscape Architect and the client's representative at the time of completion.
 - Practical completion certificate
 - Upon practical completion Landscape contractor is to provide a certificate to the Principal's Authorised Person to confirm all landscape works have been carried out in accordance with all landscape documentation drawings and landscape specifications.
 - Upon practical completion (and following final inspection) Landscape architect is to provide a certificate to the Principal's Authorised Person to confirm that the landscape works have been completed in accordance with landscape documentation drawings and landscape specifications.

GENERAL NOTES

All works to be undertaken in accordance with the relevant Australian Standards and as per the specifications. Existing survey boxes and/or marks disturbed during construction shall be replaced to new positions as directed by Principal.

Do not use vitriol equipment, except for hand held machines, over the subsurface services. It is the Contractor's responsibility to ensure that the correct depth and location of the services are known. Call out materials/surface damaged to private/public property. Ensure dated photographs are taken to kerbs and gutters to clearly indicate the existing conditions or any other structures before commencement of construction - supply one set of photographs to the Principal and retain one set on site.

All existing service access pits, inspection pits and valve covers conflicting with finished surface levels are to be raised or lowered. The Contractor is to ensure that these adjustments are undertaken in accordance with engineer's details. Confirm treatment of unknown owner covers with Principal prior to undertaking adjustment. Refer Principal for approval of setout before continuing with works.

LEVELS

- All Levels to be confirmed on site prior to construction. Setout all levels for construction and approve on site with marker stakes to which levels are related and clearly marked
- Establish a datum level for the site and provide a permanent benchmark on heights and contours
- All falls are to be established and confirmed to provide 1:100 fall for stormwater over land flow. Threshold to buildings to be flush with interface and fall away from building.
- Confirm all levels on site prior to construction and notify landscape architect of any discrepancies. Service access pits refer plan L_1100, schedule and specification for pit type and in-fill treatment. Refer to landscape plans and detail for make good pavement treatments associated with boundary works and utility relocations.

PROJECT TEAM
NIMBUS ARCHITECTURE AND HERITAGE PTY LTD
 Suite 31-32, 48 George Street, Parramatta NSW 2150

LANDSCAPE ARCHITECT / URBAN DESIGNERS
33 PARALLEL
 21 Chambers Avenue
 Bondi Beach Sydney
 NSW 2026 Australia
 Tel: (02) 9550 1234
 (03) 04 61 6337 62
 info@33parallel.com.au
 Darren Mansfield
 AILA Registered Landscape Architect



CLIENT NAME
NIMBUS ARCHITECTURE AND HERITAGE PTY LTD

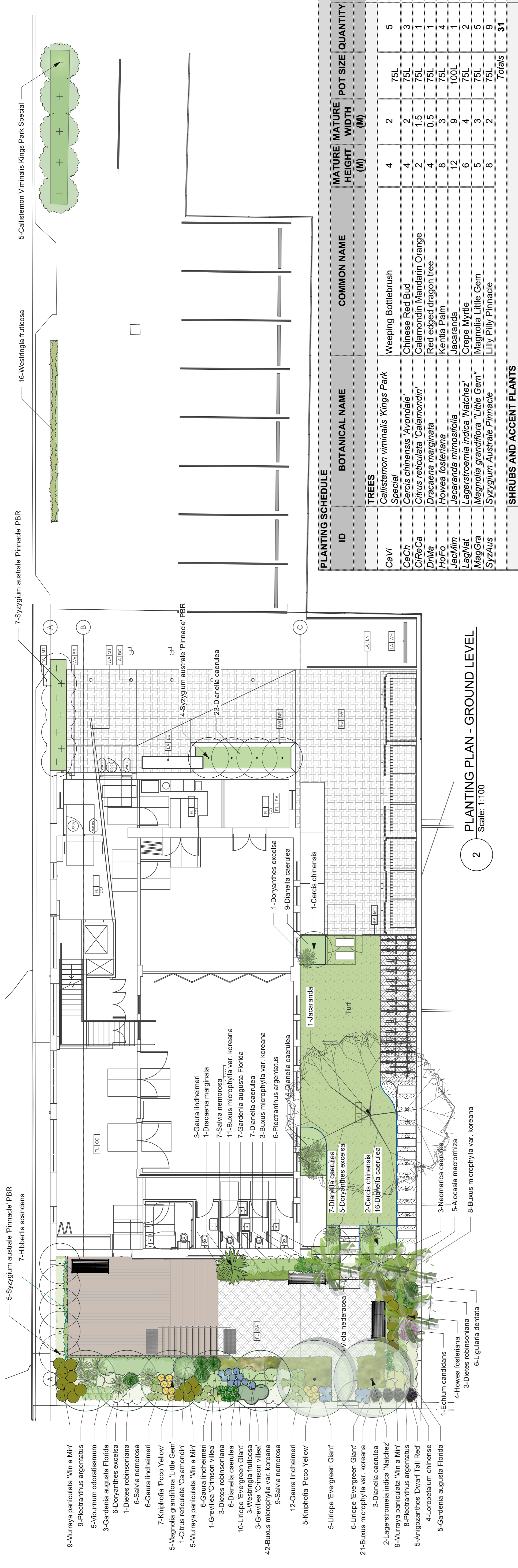
PROJECT
ST JAMES CHURCH GLEBE

DRAWING TITLE
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| CREATED | DATE | CHECKED | PROJECT STAGE | SHEET SIZE |
| | 29/07/2022 | DM | DA | ISO A1 |
| PROJECT NUMBER | DRAWING NUMBER | ISSUE | | |
| 2031 | L_000 | D | | |

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2 PLANTING PLAN - GROUND LEVEL
Scale: 1:100

3 PLANTING PLAN - LEVEL 2
Scale: 1:100

NOT FOR CONSTRUCTION

| ID | BOTANICAL NAME | COMMON NAME | MATURE HEIGHT (M) | MATURE WIDTH (M) | POT SIZE | QUANTITY | NOTES | |
|---------------------------------|---|--------------------------------------|-------------------|------------------|----------|----------|--------------------|--|
| CeVi | <i>Callistemon viminalis</i> 'Kings Park Special' | Weeping Bottlebrush | 4 | 2 | 75L | 5 | Car park | |
| CeCh | <i>Cercis chinensis</i> 'Avondale' | Chinese Red Bud | 4 | 2 | 75L | 3 | Private open space | |
| CiReCa | <i>Citrus reticulata</i> 'Calamondin' | Calamondin Mandarin Orange | 2 | 1.5 | 75L | 1 | | |
| DiMa | <i>Dracaena marginata</i> | Red edged dragon tree | 4 | 0.5 | 75L | 1 | | |
| HoFo | <i>Howea forsteriana</i> | Kentia Palm | 8 | 3 | 75L | 4 | | |
| JacMir | <i>Jacaranda mimosifolia</i> | Jacaranda | 12 | 9 | 100L | 1 | Private open space | |
| LagWat | <i>Lagerstroemia indica</i> 'Natchez' | Crepe Myrtle | 6 | 4 | 75L | 2 | | |
| MagGra | <i>Magnolia grandiflora</i> 'Little Gem' | Magnolia Little Gem | 5 | 3 | 75L | 5 | | |
| SyzAus | <i>Syzygium australe</i> 'Pinnacle' | Lilly Pilly Pinnacle | 8 | 2 | 75L | 9 | | |
| Totals | | | | | | | 31 | |
| SHRUBS AND ACCENT PLANTS | | | | | | | | |
| AlMaAl | <i>Alocasia macrorrhiza</i> | Elephant's Ear, Cunjevoi | 0.5 | 0.5 | 200mm | 5 | | |
| AlcEr | <i>Aloe 'Eric the Red'</i> | Aloe | 0.5 | 0.5 | 200mm | 9 | Lvl 2 planter | |
| AnDwTa | <i>Anigozanthos 'Dwarf Tail Red'</i> | Dwarf Tail Red Kangaroo Paws | 0.5 | 0.5 | 150mm | 5 | | |
| Bkor | <i>Buxus microphylla</i> var. koreana | Korean Littleleaf Boxwood | 0.5 | 0.5 | 250mm | 85 | | |
| CaCi | <i>Callistemon citrinus</i> | Lemon-scented Bottlebrush | 3 | 1.5 | 200mm | 7 | Car park planter | |
| DiSi | <i>Dichondra 'Silver Falls'</i> | Kidney Weed | 0.1 | 0.5 | 150mm | 13 | Lvl 2 planter | |
| DiEir | <i>Dietes robinsoniana</i> | African Iris | 0.5 | 0.5 | 200mm | 7 | | |
| DOReX | <i>Doryanthes excelsa</i> | Gymea Lily | 1 | 1 | 45L | 12 | | |
| EchCan | <i>Echium candicans</i> | Pride of Madeira | 1 | 1 | 200mm | 1 | | |
| GaJa | <i>Gardenia augusta Florida</i> | Florist Gardenia | 0.5 | 0.5 | 200mm | 15 | | |
| GeLi | <i>Gaura lindheimeri</i> | White Gaura, Lindheimer's beeblossom | 0.5 | 0.5 | 150mm | 27 | | |
| KaPu | <i>Kalanchoe pumila</i> | Flower Dust Plant | 0.5 | 0.5 | 200mm | 7 | Lvl 2 planter | |
| LiDe | <i>Ligularia dentata</i> | Bigleaf Ligularia | 0.4 | 0.5 | 200mm | 6 | | |
| MurPan | <i>Murraya 'Min-A-Mir'</i> | Dwarf Murraya | 0.5 | 0.5 | 250mm | 23 | | |
| SALnem | <i>Salvia nemorosa</i> | Woodland Sage | 0.5 | 0.5 | 150mm | 22 | | |
| ViOd | <i>Viola odoratissima</i> | Verbena | 1 | 1 | 25L | 5 | | |
| ViOhed | <i>Viola hederacea</i> | Native Violet | 0.1 | 0.5 | 150mm | 16 | | |
| WeFr | <i>Westringia fruticosa</i> | Coastal Rosemary | 1 | 1 | 200mm | 19 | | |
| WELeu-1 | <i>Evergreen Giant</i> | Liriodendron 'Evergreen Giant' | 0.5 | 0.5 | 200mm | 21 | | |
| NEOcae | <i>Neomarica caerulea</i> | Neomarica caerulea | 0.5 | 0.5 | 200mm | 3 | | |
| PLEarg | <i>Plectranthus argenteus</i> | Plectranthus argenteus | 0.5 | 0.5 | 200mm | 23 | | |
| KrPo | <i>Kniphofia 'Poco Yellow'</i> | Kniphofia 'Poco Yellow' | 0.5 | 0.5 | 200mm | 12 | | |
| Dcae | <i>Dianella caerulea</i> | Dianella caerulea | 0.3 | 0.3 | 150mm | 85 | | |
| Totals | | | | | | | 428 | |

Quantity of soil additive:
Semi Advanced (150mm pots) 40 grams (200mm pots) 80 grams
Super Advanced (25 Litre pots) 400 grams

Soil Conditioner
Soil Conditioner shall be Botany Humus as available from Australian Native Landscapes or approved equivalent. Maintain the contract area during the plant establishment period.

Mulch
Mulch shall be free from soil, weed growth and other green material. Spread mulch immediately after planting. Mulch shall be tamped down after laying.
Mulch shall be "Hot bark" (15mm) equal to that supplied by Australian Native Landscapes - Lay mulch to 75mm depth throughout planted areas.

Watering
Before planting begins, thoroughly water plants and planting areas. Keep areas moist during planting and water plants immediately after planting and thereafter as required to maintain plants free of stress.

Planting hole
All species shall be planted into an individually prepared hole. Each hole shall be dug with a shovel, pick or similar tool and under no circumstances shall a post hole borer or similar digger be used. Individual holes shall be excavated to a size to allow a minimum 100mm of planting soil mix beneath and around the root system. Mix soil additive and fertilizer with the backfill soil.

Depth of planting
When the plant is in the final position in its bed, the topsoil level of the planting root ball shall be level with the finished surface of the soil surrounding bed. Place and backfilling.
Placing the plant removing the container with minimum disturbance to the rootball and place it in its final position. Soil shall be progressively firmed during backing to avoid air pockets. Backfill with Planting Soil/soil conditioner mix as specified.

Establishment watering
Water the plants to the soil moist to a depth of 100mm. Continue watering every second day for the first fourteen (14) days, then at regular intervals until the planting is established. Plants must not be allowed to dry out during the establishment period.

Landscaping Maintenance
Generally
The work contained in this section comprises the establishment maintenance and contractor shall maintain the contract areas for a period of twelve (12) months after the date of practical completion. Maintenance shall include the following items as a minimum requirement:
Watering
Planned and turfed areas shall be watered regularly to ensure continuous healthy growth.

Weeding and rubbish removal
During the contract period remove by hand rubbish and weed growth that occurs throughout all contract areas. This shall be executed regularly so that at weekly intervals at least the landscape contract areas may be observed in a completely clean and tidy condition.

Replacement
Immediately replace plants which die or fail to thrive or are damaged or stolen, with plants of same size and quality.
Stakes and ties shall be replaced as they become damaged or lost during the maintenance period if directed.

Pruning
Pruning work shall be implemented to maintain dense foliage growth and encourage suitable growth habits. An approved wound dressing, such as "colgrat", shall be applied to all cut surfaces in accordance with the manufacturers' instructions.
Mulched surfaces
Mulched surfaces shall be kept in a clean and tidy condition, reinstated depths of mulch as specified.

Spraying
Insecticide and fungicide spraying, if considered necessary, shall be carried out in accordance with the manufacturers' instructions. The landscape contractor shall treat all occurrences of insect attack or disease amongst the plant material.

Turf
Water as required to maintain healthy growth, mow as required to maintain grass height within the range of 25mm to 30mm, averaging 30mm, apply larvicide to the grass at the position of the plant, at least once per week, for not less than seven days before the end of the maintenance period. Remove grass clippings from the site.

Completion
Notwithstanding anything to the contrary of the contract, the superintendent may instruct the landscape contractor to perform urgent maintenance works, such as a notice, the superintendent reserves the right to employ others to carry out such specified works and charge it to the contractor.

Ongoing landscape maintenance
Ongoing landscape maintenance phase by the contractor. Ongoing landscape maintenance will be by the Parish staff.

PROJECT TEAM

33 PARALLEL

21 Chambers Avenue
Bondi Beach Sydney
NSW 2026 Australia
(61) (0) 2 9531 4444
info@33parallel.com.au

ALLA Registered Landscape Architect
Darren Mansfield

LANDSCAPE ARCHITECT / URBAN DESIGNERS

LANDSCAPE ARCHITECTURE AND HERITAGE
NIMBUS ARCHITECTURE AND HERITAGE
PTY LTD

PROJECT
ST JAMES CHURCH GLEBE

ISSUE

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APPROVED BY

| | | | |
|---|---------------|-----------------|------|
| A | Pre-DA | 20/10/2020 | DATE |
| B | DA | 14/03/2022 | DATE |
| C | DA | 24/03/2022 | DATE |
| D | DA AMENDMENTS | DM - 28/07/2022 | DATE |

ISSUE DESCRIPTION

DATE

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CLIENT NAME

DRAWING TITLE

NIMBUS ARCHITECTURE AND HERITAGE
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LANDSCAPE PLANTING PLAN

CREATED

DATE

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PROJECT STAGE

ISO A1

28/07/2022

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ISO A1

PROJECT NUMBER

DRAWING NUMBER

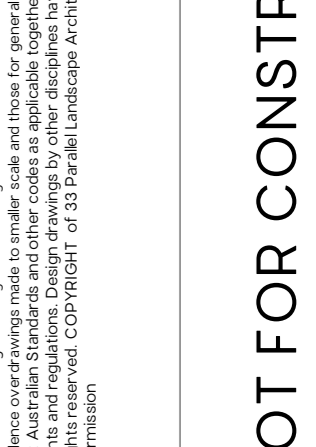
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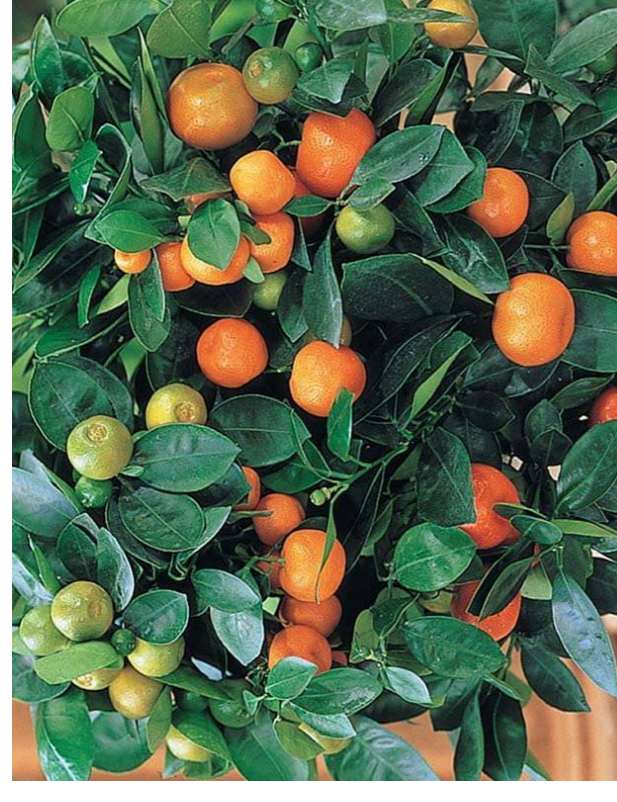
Lagerstromia 'Natchez'



Magnolia grandiflora 'Little Gem'



Howea forsteriana



Citrus calamondin



Dracaena marginata



Aloe 'Eric the Red'



Alocasia macrorrhiza



Anigozanthos Dwarf Tail red



Buxus microphylla var. Koreana



Dietes robinsoniana



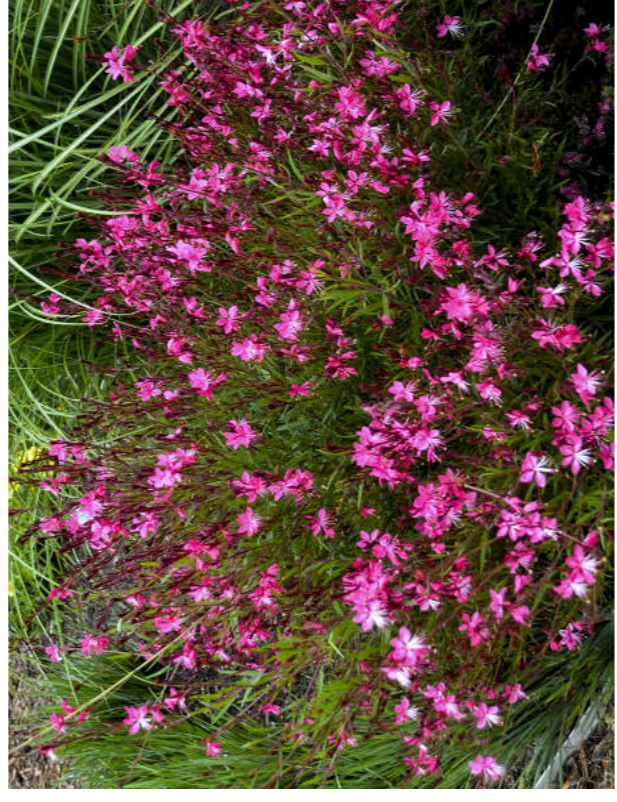
Doyanthes excelsa



Callistemon citrinus



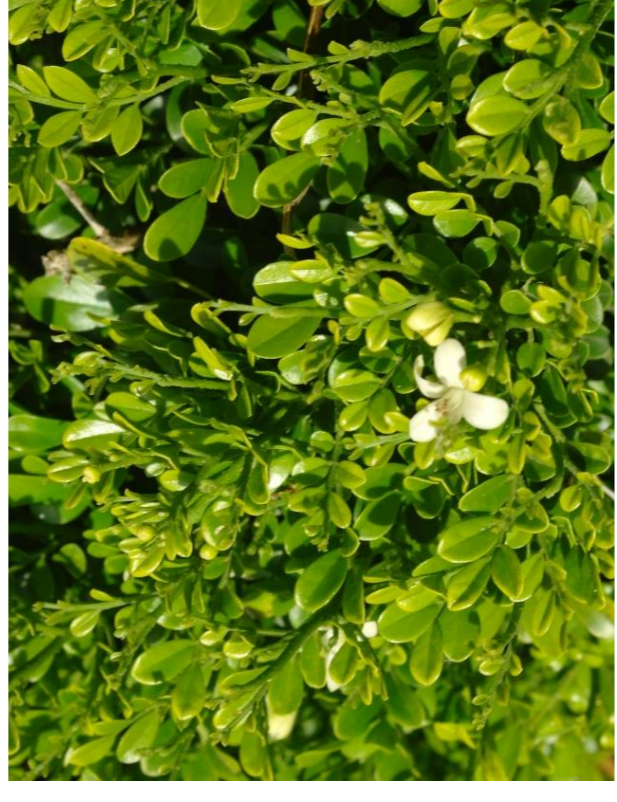
Gardenia augusta 'Florida'



Gaura lindheimeri



Ligularia dentata



Murraya exotica



Salvia nemorosa



Leptospermum squarrosum



Syzygium australe 'Pinnacle'



Dianella caerulea



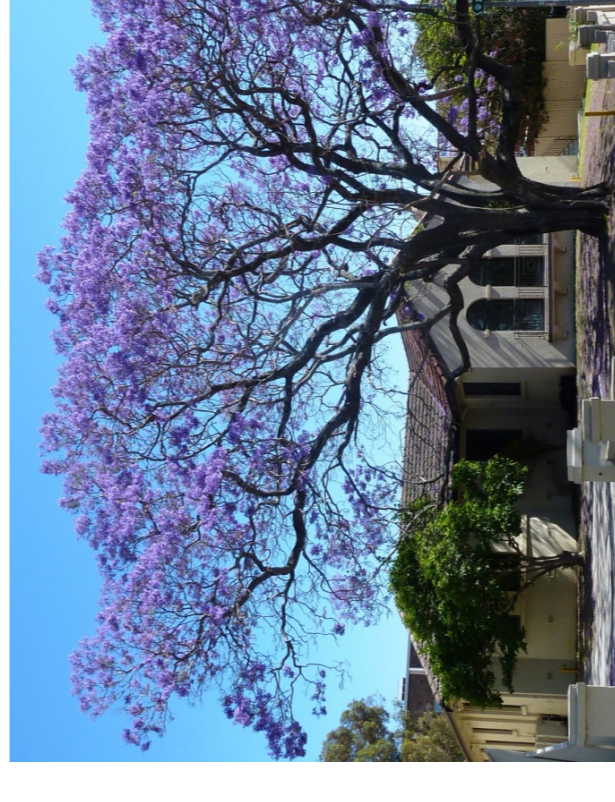
Viburnum odoratissimum 'Emerald Lustre'



Westingia fruticosa



Liriope Evergreen Giant



Jacaranda



Neomarica caerulea



Plectranthus argenteus



Kniphofia 'Poco Yellow'



Trachelospermum jasminoides



Hibbertia scandens

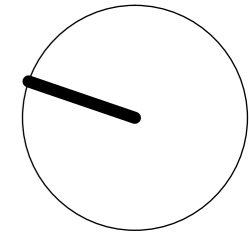


Cercis chinensis 'Avondale'

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NORTH / SCALE
Scale: 1:100



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| A | Pre-DA | DM | DM | 20/10/2020 |
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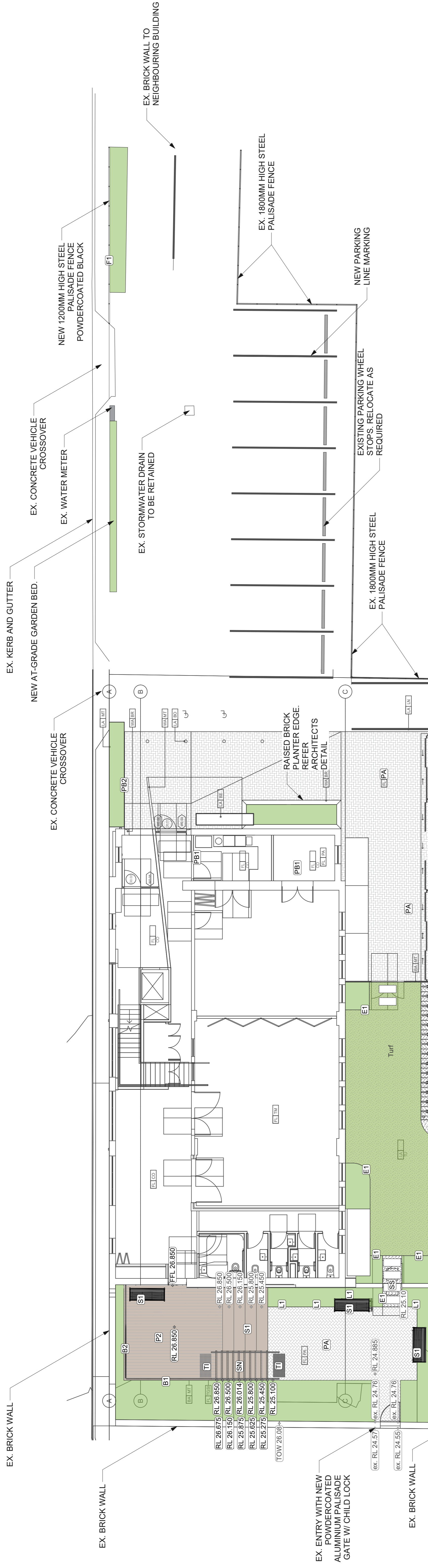
PROJECT TEAM
NIMBUS ARCHITECTURE AND HERITAGE PTY LTD
 Suite 31-32, 48 George Street, Parramatta NSW 2150



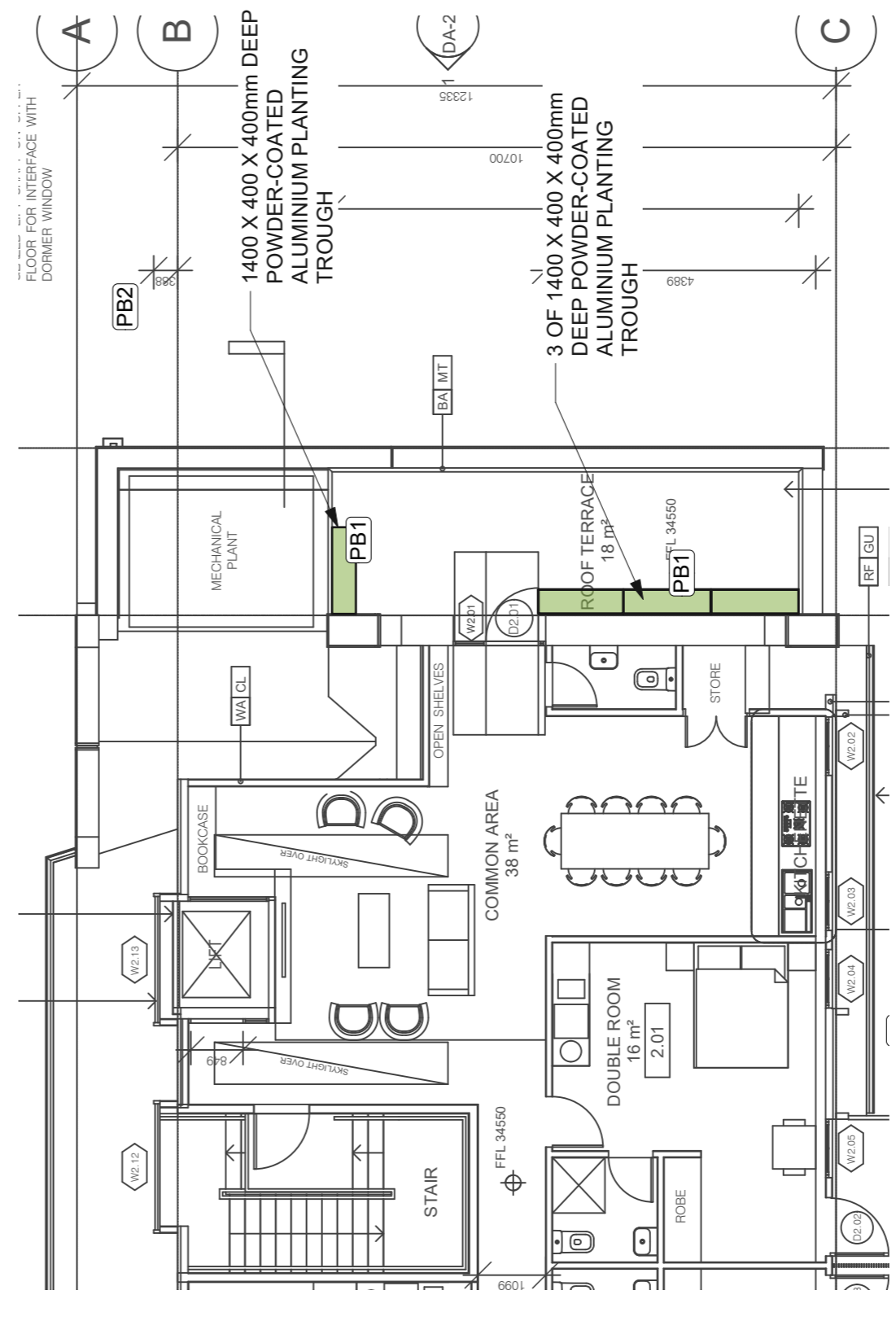
LANDSCAPE ARCHITECT / URBAN DESIGNERS
33 PARALLEL
 21 Chambers Avenue
 Bondi Beach Sydney
 NSW 2026 Australia
 Tel: (02) 9550 1234
 Fax: (02) 9550 1235
 info@33parallel.com.au
 Darren Mansfield
 Landscape Architect
 AILA Registered Landscape Architect

CLIENT NAME
NIMBUS ARCHITECTURE AND HERITAGE PTY LTD
 PROJECT
ST JAMES CHURCH GLEBE

DRAWING TITLE
LANDSCAPE PLANTING PALETTE
 CREATED DATE CHECKED PROJECT STAGE
 28/07/2022 DM DA
 PROJECT NUMBER DRAWING NUMBER ISSUE
 2031 L_1002 D



2 LEVELS AND FINISHES PLAN - GROUND FLOOR
Scale: 1:100



3 FINISHES PLAN - LEVEL 2
Scale: 1:100

| Code | Materials Schedule | Location | Specification | Supplier/Manufacturer | Notes |
|------------|--|--|---|---|---|
| | Soil Mix | All gardens | Peat and Planter Mix with additional 5% Zeolite 2-6mm | Australian Native Landscapes or approved equivalent | Mix in thoroughly 5% Zeolite 2-6mm (for use where levels with specified soil conditioner) |
| | Planter Box Mix | 2nd storey roof terrace | Premium Planter Box Mix with additional 5% Zeolite 2-6mm | Australian Native Landscapes or approved equivalent | Mix in thoroughly 5% Zeolite 2-6mm |
| | Soil Conditioner | All gardens | Cow and Compost | Australian Native Landscapes or approved equivalent | Mix thoroughly into the top 200mm of existing site soil |
| | Drainage Cell | Planter boxes | Vegetation 30mm (prepper) rock w/vee | Enrich or approved equivalent | 40mm depth under soil |
| | Geotextile Polypropylene filter fabric | Planter boxes | 1.2mm thick | Geofabrics.co or approved equivalent | place over drainage cell and tap up walls to 100mm from top |
| | Mulch | All Garden and planter areas | HotBark / Cow and Compost mix 80% - 20% | Australian Native Landscapes or approved equivalent | Mix components thoroughly. Muck all garden areas and planter boxes |
| PB1 | Powder-coated aluminium Planter Boxes | 2nd storey roof terrace | 4500 X 690 X 400mm deep X 1 of 1400 X 400 X 400mm deep X 4 of | https://www.aluminiumaustralia.com.au/industry/ | Ensure adequate 30mm diam. drainage holes. Ensure adequate 30mm diam. drainage holes. Ensure adequate 30mm diam. drainage holes. Ensure tabs to keep planter box clear of ground by 15mm to allow drainage |
| PB2 | Weathering Steel Planter Box | Car Park | To Architects Detail | Austral Bricks | |
| PA | Brick Paving - herringbone pattern | Front, side and rear garden | London Boyal Blue 230 L x 114 W x 66 H mm over prepared subgrade over existing deep soil | | |
| P2 | Timber and steel deck | Front entry garden | Tallowood or Turpentine decking (Gouldsleeve) over 40mm x 40mm x 40mm timber joists | By Contractor | Approved timber sealant to be applied to timber deck after final clean. |
| T1 | Tadpoles | Front Deck | Solid 316 Stainless Steel 35mm diam (NSSS10) | Walway Architectural products (Product Code: SSNMT2) | Navigate Stainless Steel Hubs (to be installed to manufacturer's specification) |
| SN | Stair Nosing | Front Deck | Carroll's Aluminium with black carbonised inlaid. Tread with 88mm | Walway Architectural products (Product Code: SSNMT2) | Stemmaster 40B series (to be installed to manufacturer's specification) |
| B1 | Steel Balustrade | Front Deck | Painted Flat Steel 75(W) X Varies(H) X 200(H)mm Spine 40mm Dia. x 3.25mm wall thickness | By Contractor | |
| B2 | Steel Treads | Front Deck | By Architects | | |
| S1 | Stairs and bleachers | Front Deck | Timberwood or Turpentine treads and nosings over 180(W) X Varies(H) X 40(H)mm. | By Contractor | |
| F1 | Garden Steps, Planting Fence | As shown | Black powder coated Galvanneal Steel | By Contractor | |
| E1 | Flush Steel Garden Edging | Side Garden | Galvanneal Steel Edging Norm. 150mm x 2.0mm in longest practical lengths with steel jogg storage as per manufacturer's specifications | Product: Steel Edging Supplier: Formboss or approved equivalent Phone: 13 11 37 | |
| L1 | Garden Uplights | Front Garden | TBA | | Light to be IP rated and appropriate for exterior use. |
| BS | Bicycle stand, Semi-hoop 3 UMS | Rear Garden | Stainless 304 No 4 finish (brushed) Rectangular Sawn Sandstone | http://steelestructure.com/au/products/semi-hoop/ | |
| SS | Stepping Stones | Side Garden | Flagger Pile Creek - Quinea Gold Sandstone with 30mm mortar leveling bed | Gosterd Quarries or approved equivalent | |
| Fertiliser | Fertiliser | All garden areas + turf | N 15-20% P 24% with trace elements | Nutricote 9 month slow release or approved equivalent | Mix with the backfill soil at planting. As per manufacturers recommendations for rate/plant size |
| Irrigation | Irrigation | All Garden areas and roof terrace planters | Surface Drip Irrigation | Refer irrigation performance specification | Refer Irrigation Performance Specification |
| Turf | Turf | Turf area as shown | Budlio Turf - Variety "Palmetto" | Contractor to nominate supplier | Turf shall be "Palmetto" Soft Leaf Buffalo with an even turf from an approved grower of cultivated turf. Furnish warranty from the grower that the turf is free of weeds and other foreign matter. Lay and prevent it from drying out between cutting and laying. |
| Planting | Planting | | | | Refer planting schedules |

LANDSCAPE ARCHITECT / URBAN DESIGNERS

33 PARALLEL
21 Chambers Avenue
Bondi Beach Sydney
NSW 2026 Australia
Tel: (02) 9550 7777
(02) 04 61 6337 62
info@33parallel.com.au

ALLA Registered Landscape Architect
Darren Mansfield

CLIENT NAME
**NIMBUS ARCHITECTURE AND HERITAGE
PTY LTD**

PROJECT
ST JAMES CHURCH GLEBE

DRAWING TITLE
LANDSCAPE LEVELS AND FINISHES

CREATED 29/07/2022
CHECKED DM
PROJECT STAGE DA
ISO A1
SHEET SIZE

PROJECT NUMBER 2031
DRAWING NUMBER L_1003
ISSUE D

33 PARALLEL
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ISSUE DESCRIPTION

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| B | DA |
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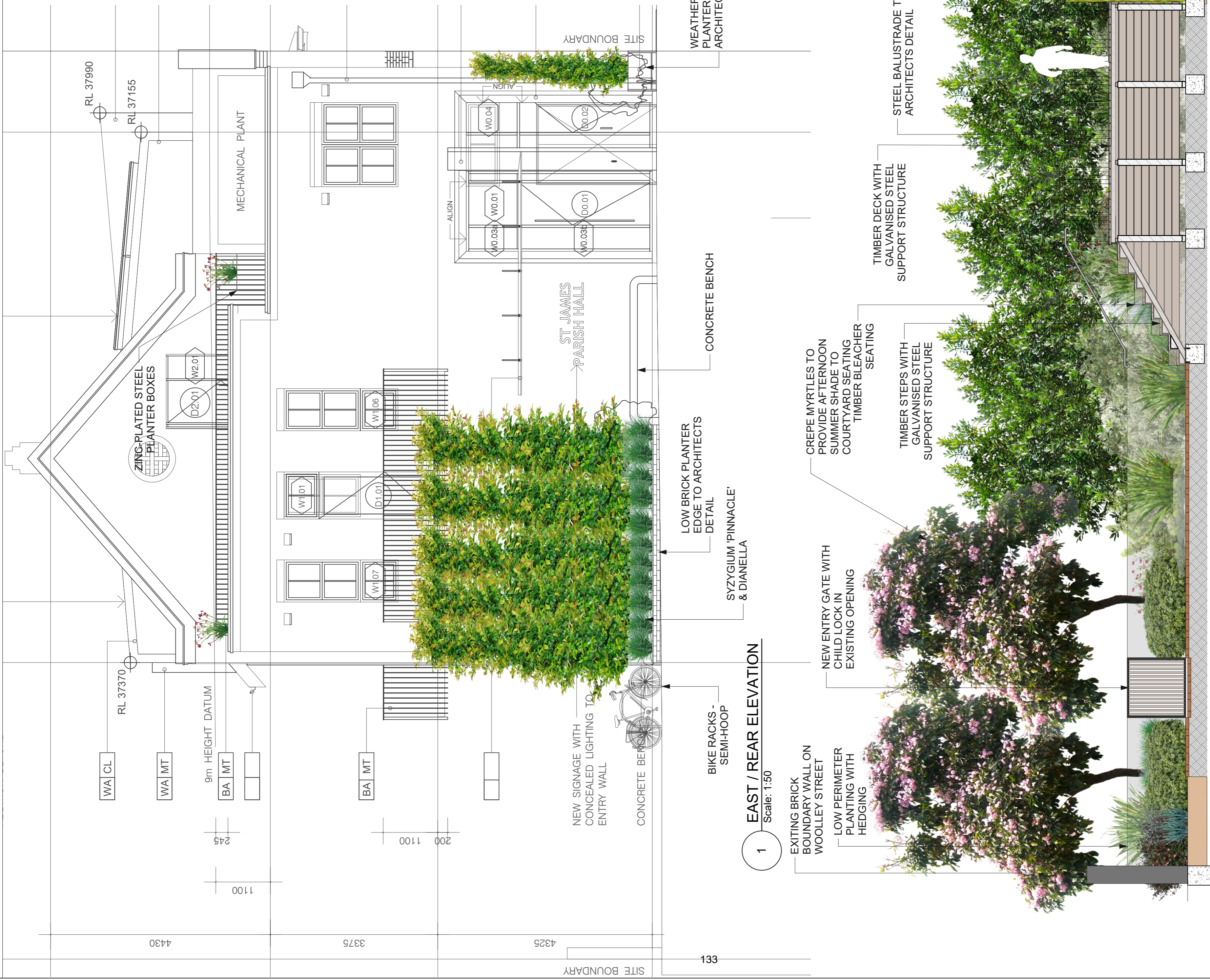
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| 14/03/2022 |
| 24/03/2022 |
| 28/07/2022 |

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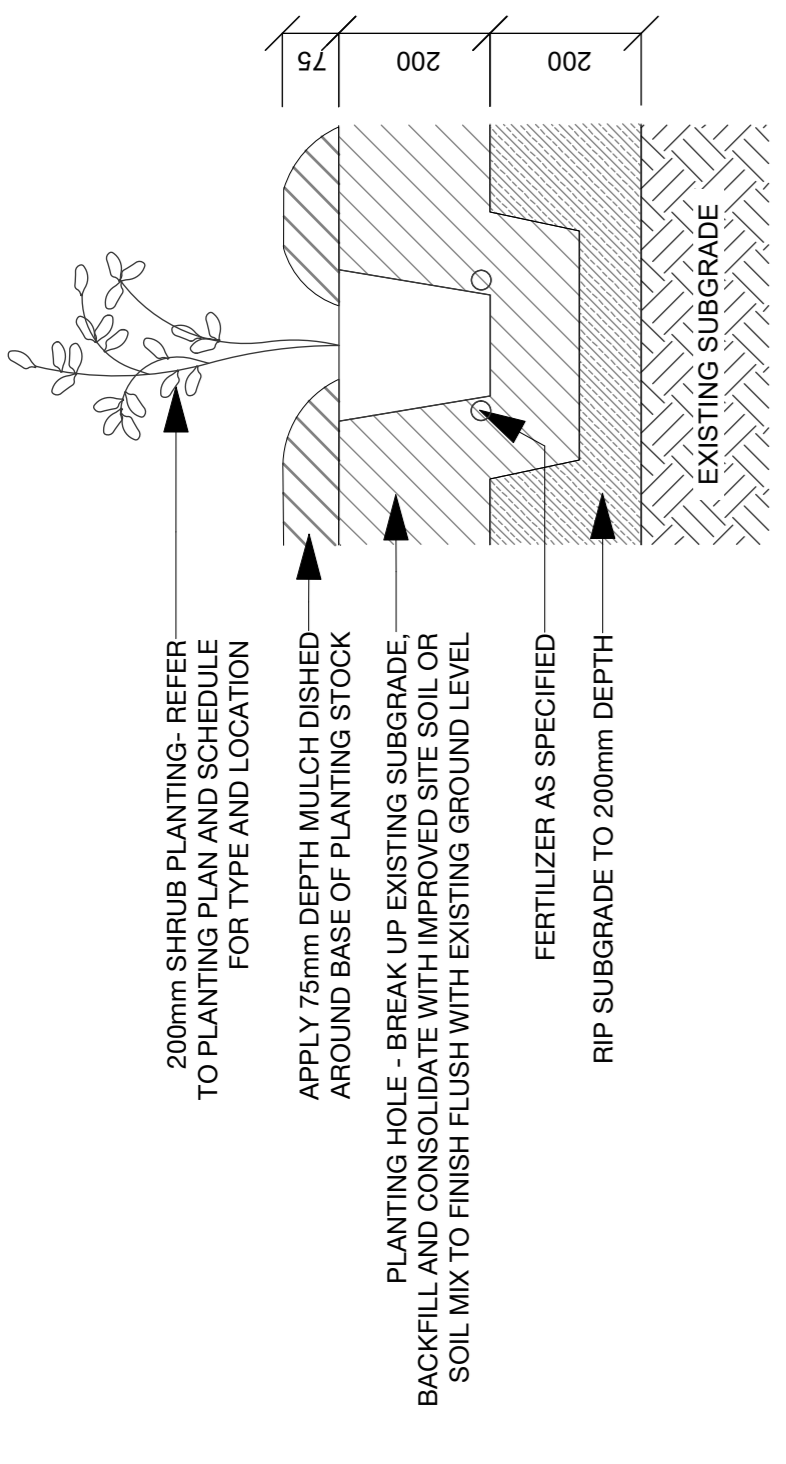
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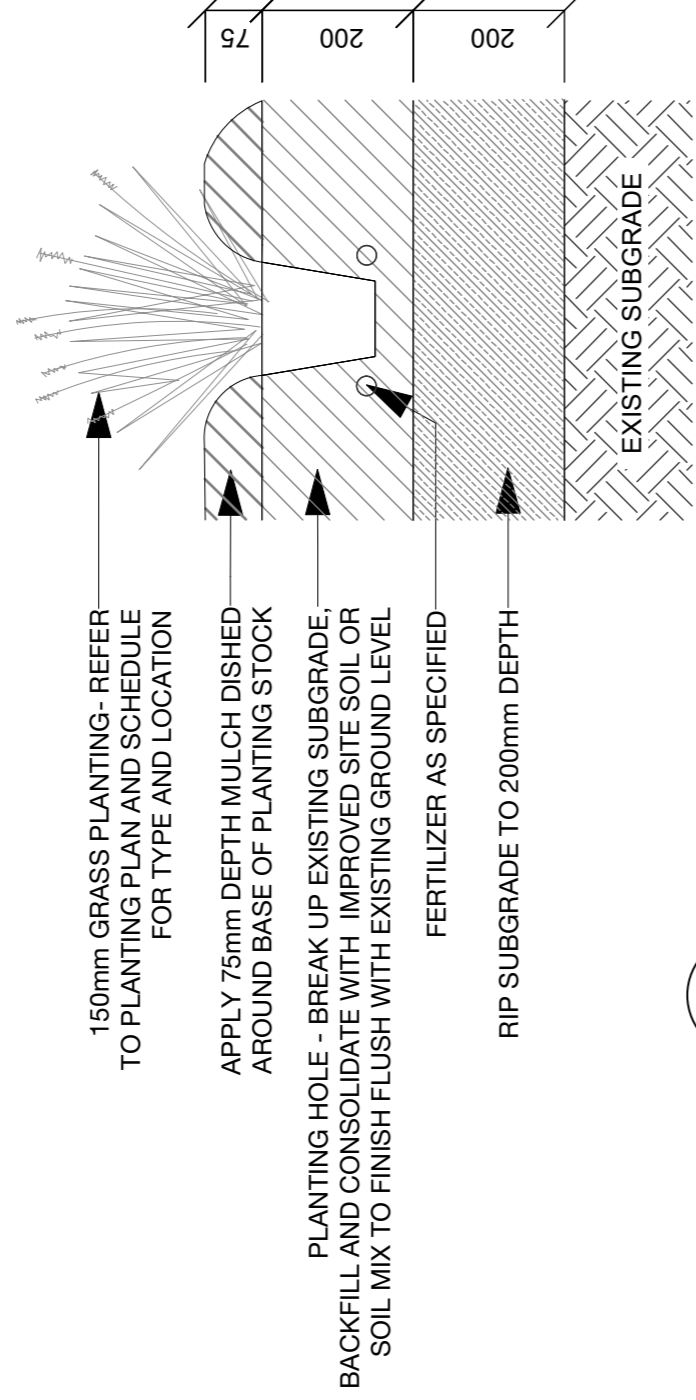


1 EAST / REAR ELEVATION
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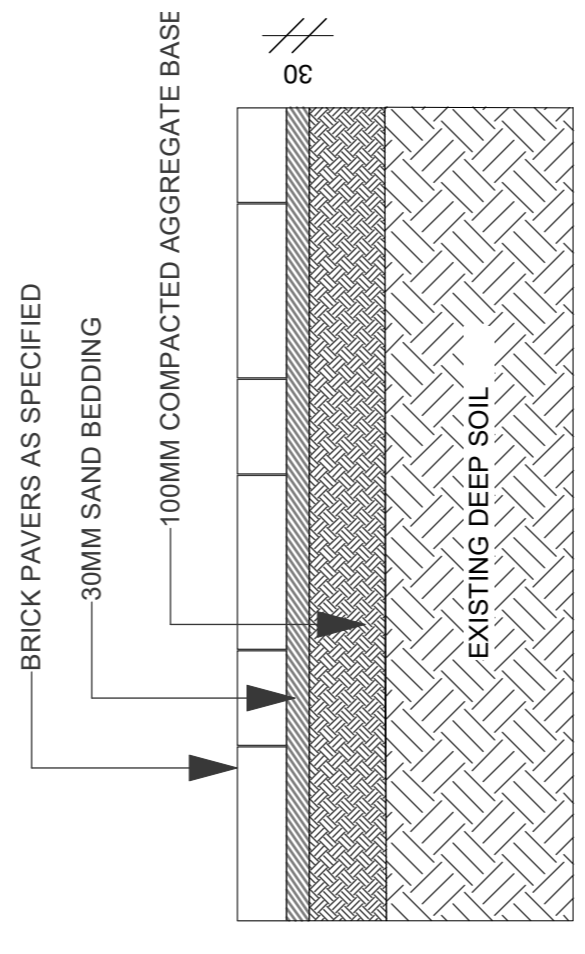
2 SECTIONAL ELEVATION LOOKING TOWARDS WOOLLEY ST
Scale: 1:50



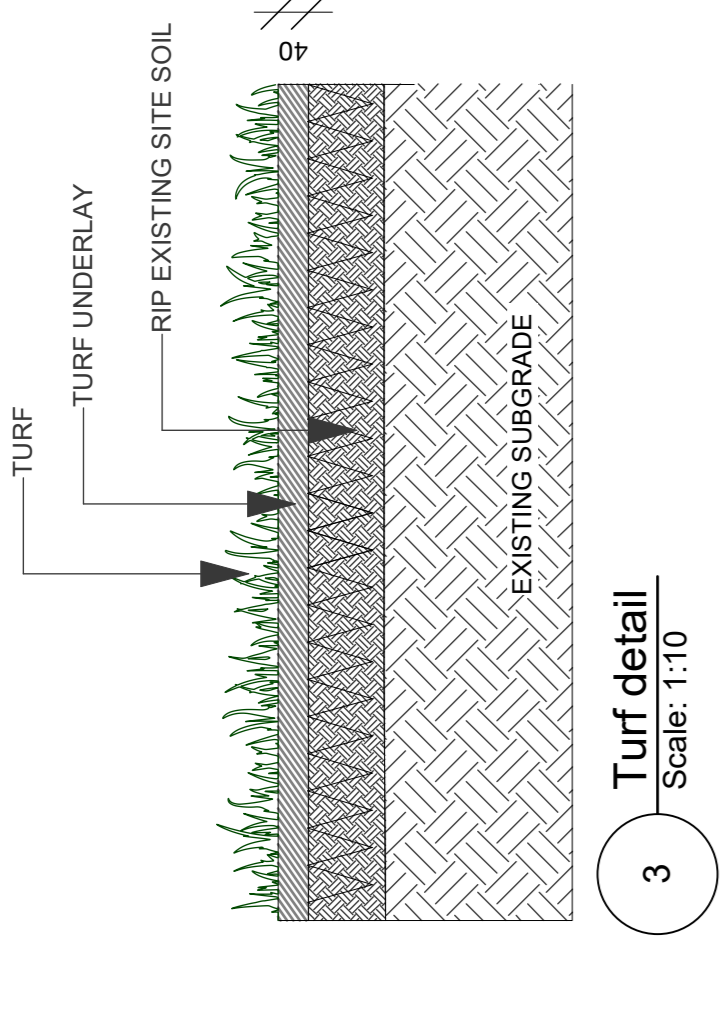
2 200mm container planting detail
Scale: 1:10



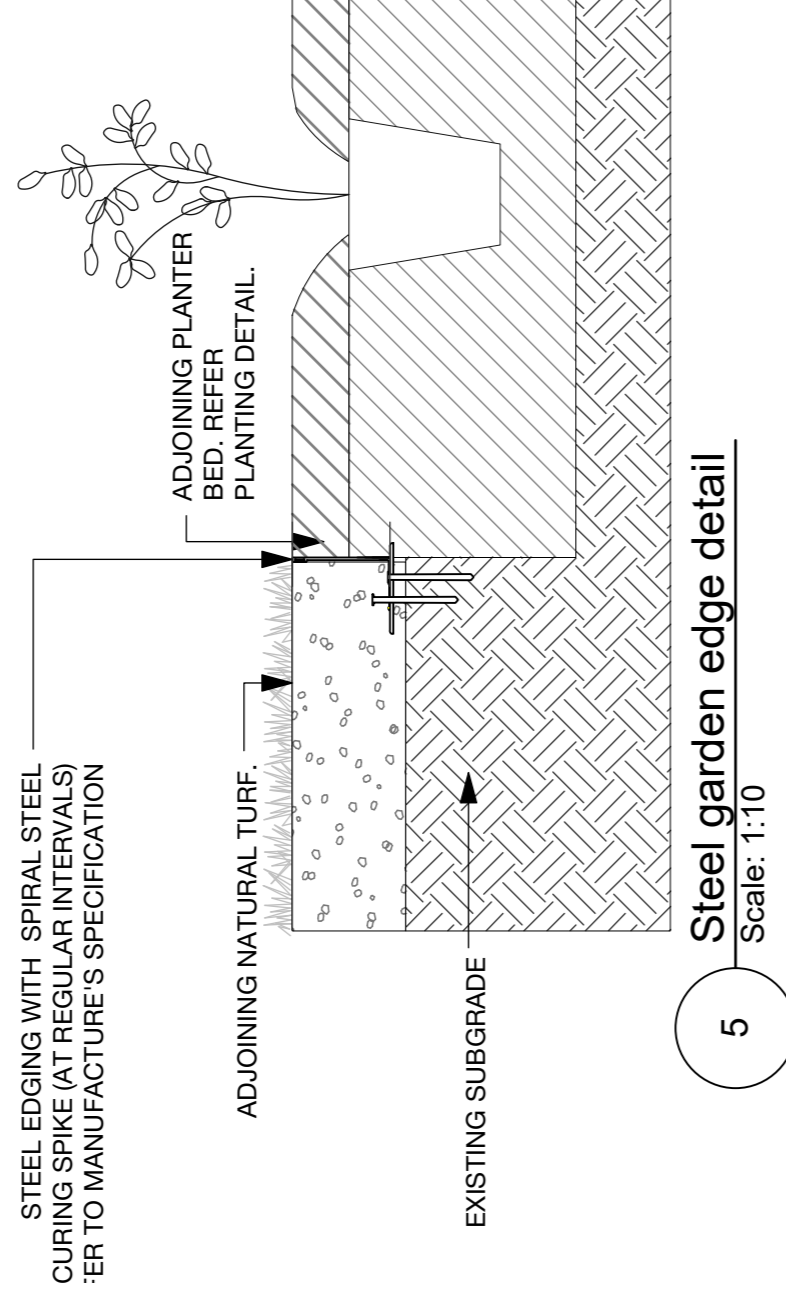
4 150mm container planting detail
Scale: 1:10



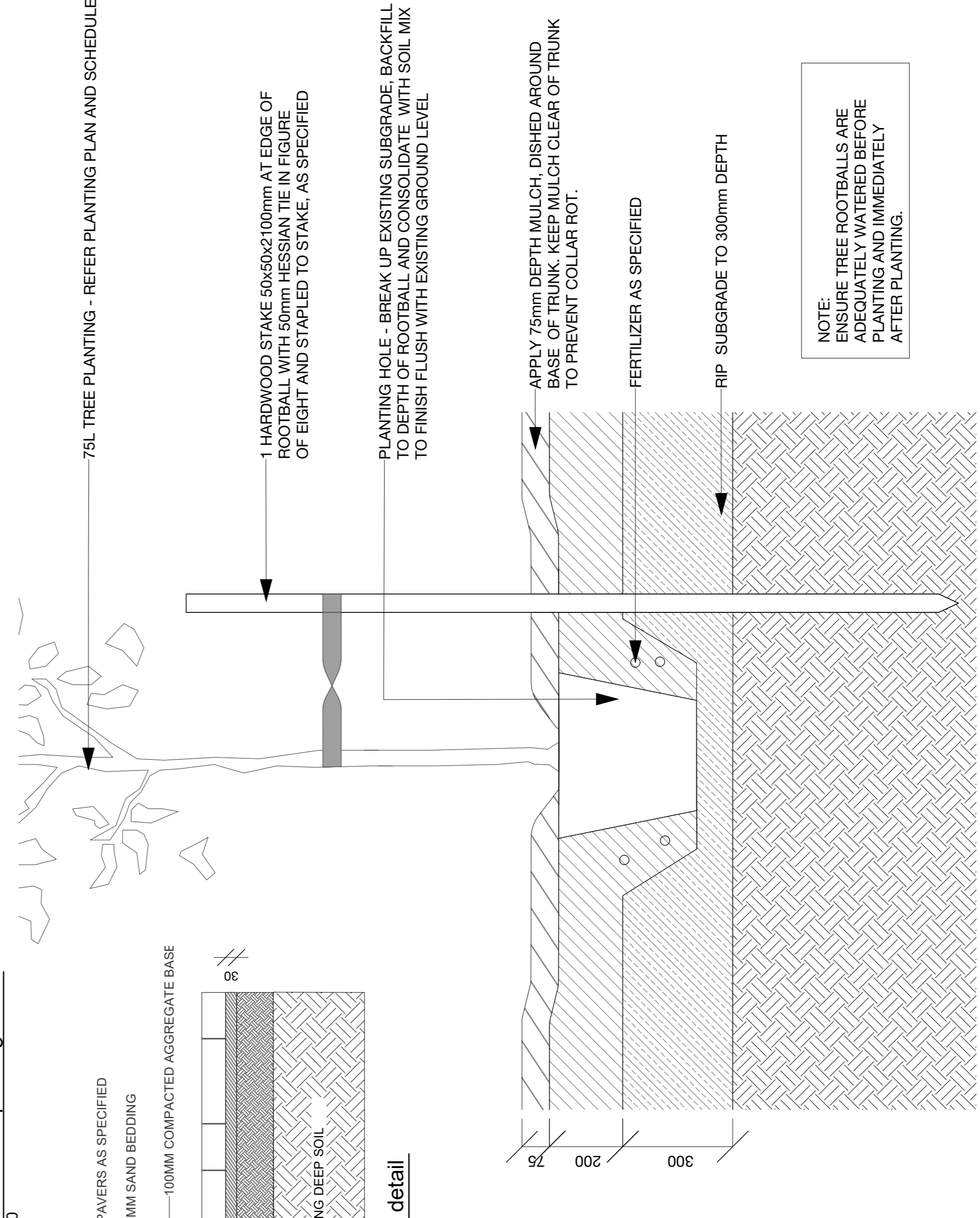
7 Brick paving detail
Scale: 1:10



3 Turf detail
Scale: 1:10



5 Steel garden edge detail
Scale: 1:10



6 75 Litre tree planting detail
Scale: 1:10

NOTE:
ENSURE TREE ROOTBALLS ARE ADEQUATELY WATERED BEFORE PLANTING AND IMMEDIATELY AFTER PLANTING.

PROJECT TEAM
NIMBUS ARCHITECTURE AND HERITAGE PTY LTD
Suite 31-32, 48 George Street, Parramatta NSW 2150

NORTH / SCALE
Scale 1:50

| ISSUE | DESCRIPTION | BY | DATE | APPD |
|-------|---------------|----|------------|------|
| A | Pre-DA | DM | 20/10/2020 | DM |
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| D | DA AMENDMENTS | DM | 28/07/2022 | DM |

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CLIENT NAME
NIMBUS ARCHITECTURE AND HERITAGE PTY LTD

33 PARALLEL
21 Chambers Avenue
Bondi Beach Sydney
NSW 2026 Australia
Tel: (02) 9550 4444
Fax: (02) 9550 4444
info@33parallel.com.au

LANDSCAPE ARCHITECT / URBAN DESIGNERS
Darren Mansfield
ALLA Registered Landscape Architect



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ST JAMES CHURCH GLEBE

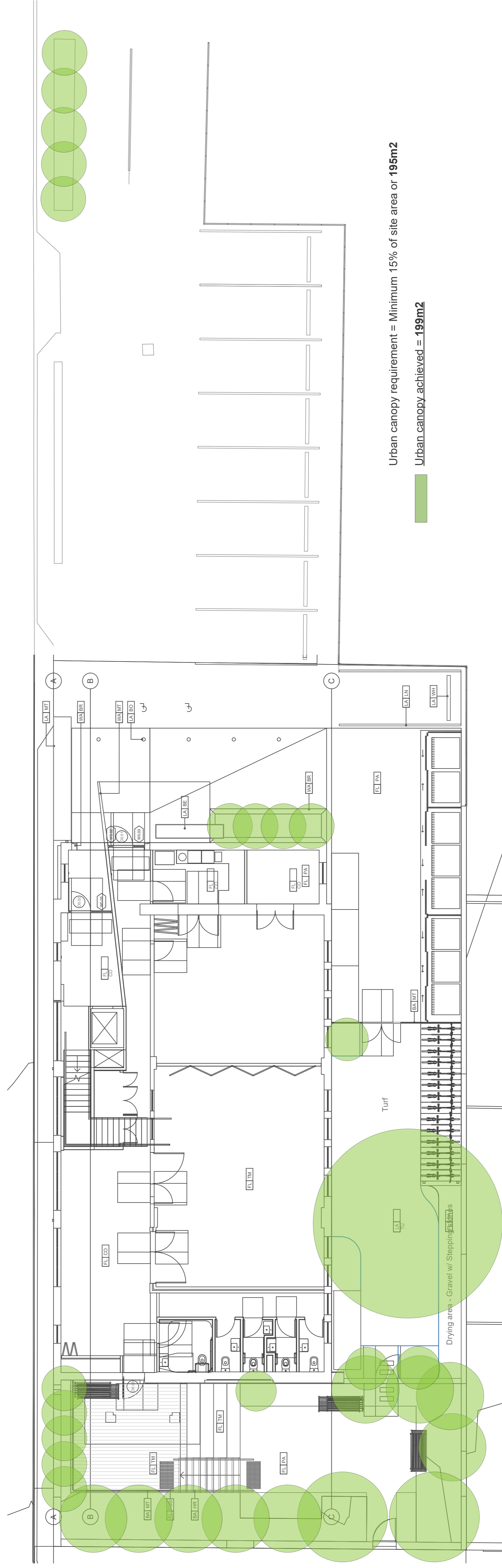
DRAWING TITLE
ELEVATIONS & DETAILS

| CREATED | DATE | CHECKED | PROJECT STAGE | SHEET SIZE |
|----------------|------------|----------------|---------------|------------|
| 2023 | 28/07/2022 | DM | DA | ISO A1 |
| PROJECT NUMBER | 2031 | DRAWING NUMBER | L_1004 | ISSUE |
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2 DEEP SOIL AREAS - GROUND LEVEL
Scale: 1:100



2 URBAN TREE CANOPY AREAS - GROUND LEVEL
Scale: 1:100

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| ISSUE | DESCRIPTION | BY | APPD | DATE | NORTH / SCALE |
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| A | Response to DA Comments | | DM | 27/07/2022 | Scale 1 |

PROJECT TEAM
NIMBUS ARCHITECTURE AND HERITAGE PTY LTD
 Suite 31-32, 48 George Street, Parramatta NSW 2150



LANDSCAPE ARCHITECT / URBAN DESIGNERS
33 PARALLEL
 21 Chambers Avenue
 Bondi Beach Sydney
 NSW 2026 Australia
 Tel: (02) 9550 4400
 Fax: (02) 9550 4401
 info@33parallel.com.au
 Darren Mansfield
 AILA Registered Landscape Architect

CLIENT NAME
NIMBUS ARCHITECTURE AND HERITAGE PTY LTD
 PROJECT
ST JAMES CHURCH GLEBE

DRAWING TITLE
DEEP SOIL/TREE CANOPY PLAN
 CREATED DATE 27/07/2022
 CHECKED DM
 PROJECT STAGE DA
 SHEET SIZE ISO A1
 PROJECT NUMBER 2031
 DRAWING NUMBER L_1005
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